

Date: 4.12.2024

Addendum No. 1

*Farmers Alliance Mutual Insurance
1122 North Main Street
McPherson, Kansas 67460*

Architect's Project Number: 22.31

Addendum No. 1 (Articles 1.1 thru 1.14) 2 Pages + Attachments

Issued By:

Plan4 Architecture Design

303 North Main Street
McPherson, Kansas 67460

You are instructed to read and to note the following described changes, corrections, clarifications, omissions, deletions, additions, approvals, and statements pertinent to the Contract Bid and Construction Documents.

Addendum No. 1 is a part of the Contract Bid and Construction Documents and shall govern the performance of the Work. Attached Information

Article 1.1. Pre-Bid Conference Attendance Sheet (See Attached)

Article 1.2. Contractor Questions & Responses (See Attached)

Article 1.3. Specifications: 001116 – Invitation to Bid (See Attached)

A. **Replace** with Section 001116 – Invitation to Bid, ref highlighted.

Article 1.4. Specifications: Section 002213 – Supplementary Instructions to Bidders (See Attached)

A. **Add:** Section 002213 – Supplementary Instruction to Bidders

Article 1.5. Specifications: Section 087100 – Door Hardware (See Attached)

A. **Replace** with Section 087100 – Door Hardware, ref highlighted.

Article 1.6. Architectural: CC100 Code Compliance Plan (See Attached)

A. **Replace** with Sheet CC100 Code Compliance Plan.

Article 1.7. Architectural: CC101 Code Compliance Plan (See Attached)

A. **Replace** with Sheet CC101 Code Compliance Plan.

Article 1.8. Architectural: AD102 Level 2 Demo Plan (See Attached)

A. **Add:** Keynote #12 Remove existing dumbwaiter equipment and all equipment associated. Maintain shaft closure.

Article 1.9. Architectural: A010 Finish Schedule (See Attached)

A. **Add:** Finish Schedule – 207 Staff Kitchen – West Wall, Add W-1.

Article 1.10. Architectural: A020 Wall, Door & Window Schedule (See Attached)

- A. **Revise:** Door 201/01 – Width = 5'-0"
- B. **Revise:** Door Schedule – Note 2, "...PREP FOR NEW PAINT."

Article 1.11. Architectural: A102 Floor Plan (See Attached)

- A. **Revise:** Plan Keynote 3 to add "TV: LG UHD UQ75 Series 43" Smart TV".
- B. **Revise:** Relabel building section keynote to B3/A250.

Article 1.12. Architectural: A250 Building Section (See Attached)

- A. **Revise:** Detail C3 Door Suspension Detail & C4 Door Storage Plan, update steel detail framing.

Article 1.13. Architectural: A500 Interior Elevations (See Attached)

- A. **Revise:** Detail B3 West Break Room Elevation – Wall tile keynote from W-1 to W-2.

Article 1.14. Electrical: E301 Electrical Floor Plan – Lighting

- A. **Revise:** Remove Keynote #4 from list and plan.

End of Addendum #1

Farmer's Alliance Insurance Co.

1122 N Main St
McPherson, Kansas

Architect's Project No. 22.31
Addenda No. 01

CONTRACTOR QUESTIONS:

1. A010 Finish Schedule shows W2 on west wall of Break Room 209. Elevation B3 on A500 indicates W1. Can you indicate which is correct?

Response: Wall tile color is W-2.

2. Elevation B1 shows on A501 shows W1 for backsplash. There is nothing listed in the Finish Schedule for 207 Staff Kitchen. Is the backsplash to be tiled?

Response: Yes, the backsplash is to be tile W-1.

3. Is the subfloor concrete or wood floor system?

Response: The existing floor is predominantly concrete slab throughout with a small stair infill located in room 210 along the south wall that appears to be infilled with wood joists and plywood subfloor.

4. Is Owner going to be responsible to coordinate AV requirements?

Response: Yes, Owner will have separate contract with AV vendor. Contractor to provide 2 conduits for rough-in for each wall mounted T.V. Coordinate with AV vendor.

5. Will general contractors be responsible to carry builder's risk insurance?

Response: Yes, General Contractor shall obtain builder's risk with Farmer's Alliance as an additional insured.

6. Are there Liquidated Damages?

Response: No, Liquidated Damages, however in lieu of LD, we will require the contractor to carry a Performance Bond for 100% of the Contract, Reference revised Invitation to Bid.

7. Will the owner be responsible for removing existing vendor services?

Response: Yes, Premier Food Service – Gordon Long 316.806.9812, will be removing and providing new vendor services to project. Contractor to coordinate required connections needed.

8. How and where will there be access to the building?

Response: Will need to coordinate with Facilities Manager – Jeff Collins 620.242.8599

9. What electrical demolition will be required?

Response: Reference note on Sheet E301. In Addition, if there is an existing receptacle within 24" of where shows a new receptacle on the drawings, the contractor has the option to reuse it. It does not need to be rewired to the new panel if it is for general use only. If the outlet is for dedicated

equipment, it needs to go to the new panel. We can keep the existing floor outlets in the new conference room and remove all other floor outlets.

10. What is permit valuation from City of McPherson?

Response: Approximately \$1,500 for building permit.

11. On the Double active doors, they are using a door made by Chase as their base of design. I noticed that door says its USDA approved, however our local vender I spoke to doesn't use that language, so is that required?

Response: No, USDA approval is not required as this is only a serving kitchen.

12. On the wood doors I am not finding anywhere of what species wood they want?

Response: Paint grade hardwood (NO MDF).

13. In Hall 200, the finish schedule calls for carpet tile F-2 and wall base B-4. Can we confirm the extent of patching here or if we should allow for re-doing the entire hall. The demo page indicates that this carpet is to remain and it's not in the "area of work" shown on CC100. Not a big deal since the carpet comes from attic stock provided by the owner and we will be able to cover it with a single box of B-4 rubber base – but wanted to verify to be safe.

Response: The area label with keynote 8 will most likely require replacement after construction with F-2 owner stock. However, the existing wood base shall remain in the hallway areas, outside of the work area.

14. On the Hardware schedule for door 201/01 it's calling for a 4' opening with using a 30/20 doors in that opening, also it says its fire rated but in the hardware schedule it's not calling for hardware approved for a fire rated opening. So, is this a 5' opening using 30/20 doors and are they in fact fire rated doors as the wall is a fire rated wall.

Response: Door 201/01 is a 5'-0" opening with a 3' and 2' door leaf with the 2' leaf being inactive. This door is to be rated and door hardware will be updated per spec.

15. Who is supplying the Arktura Vapor Verve ceiling system?

Response: Ceiling system should be supplied by the ceiling installer/contractor and wired by the electrical contractor.

16. Drawings show 277v for existing connection to light circuits.

Response: Existing building lighting circuits are 120v, electrical contractor to verify existing conditions and coordinate.

17. Does all maple base, column wraps, beam wraps get demolished?

Response: Yes, as defined by the work area. Anything outside of the work area shall be protected and will remain.

18. Does the wall tile and wallpaper get removed behind the Premier Market Area? Will Premier Market remove the slat wall or is that the responsibility of the contractor? If contractor is responsible, do we salvage for reinstall?

Response: Premier will be responsible for the removal of all slatwall and for the installation of the new slatwall in the Breakroom 210. Yes, all tile and wallpaper should be removed.

19. Does the backsplash and wallpaper get removed at the employee self-service bar area?

Response: Yes.

PROCUREMENT AND CONTRACTING DOCUMENTS

DOCUMENT 001116 - INVITATION TO BID

1.1 PROJECT INFORMATION

- A. Notice to Bidders: Bidders are invited to submit bids for the Project as described in this Document according to the Instructions to Bidders.
- B. Project Identification: **Farmers Alliance Insurance Co., Architect's Project No. 22.31.**
 - 1. Project Location: **1122 N Main Street, McPherson, Kansas 67460**
- C. Owner: **Farmer's Alliance Insurance Co.**
 - 1. Owner's Representative: **Jeff Collins, Facilities Manager**
- D. Architect: Plan 4 Architecture Design, LLC, 303 N Main Street., McPherson, Kansas 67460 (620-241-4353).
- E. Project Description: A 4,000 sf interior renovation project to an existing break room and conference rooms. The area of work is confined within the existing walls of the said spaces. The area will be a full interior demolition to the extent provided in the drawings. Much of the existing systems will remain in place and in operation, but will either be rerouted or replaced. The space will include all new interior finishes and incorporates new glass folding walls, replacing the existing wall systems entirely. The contract will include new kitchen equipment as specified, and will NOT include any furniture.
- F. Construction Contract: Bids will be received for the following Work:
 - 1. General Contract (all trades)

1.2 BID SUBMITTAL AND OPENING

- A. Owner will receive lump sum bids by 1) sealed envelope with the Project Identification Written on the outside of the envelope, or 2) electronic email, until the bid time and date at the address given below. Owner will consider bids prepared in compliance with the Instructions to Bidders issued by Owner, and delivered as follows:
 - 1. Bid Date: April 18, 2024
 - 2. Bid Time: **2:00 p.m.**, local time.
 - a. Electronic Delivery: (send receipt must accompany bid)
 - 1) Jeff-Collins@fami.com
 - 2) Cc: Brennon@plan4arch.com
 - 3. Location: **1122 North Main Street, McPherson, Kansas 67460**
- B. Project is NOT Tax Exempt.
- C. Bids will be thereafter **privately opened** and reviewed.

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1.3 BID SECURITY/BOND

- A. Bid security/bond shall be submitted with each bid in the amount of **5** percent of the bid amount. No bids may be withdrawn for a period of **60** days after opening of bids. Owner reserves the right to reject any and all bids and to waive informalities and irregularities.

1.4 PREBID MEETING

- A. Prebid Meeting: A Prebid conference for bidder will be held at 1122 N Main Street, McPherson, Kansas 67460 on **April 3rd, 2024 at 9:00 am**. Prospective General Contractor Prime Bidders are **REQUIRED** to attend, sub-contractors are encouraged to attend, but not required.
 - 1. Bidders' Questions: Architect will provide responses at Prebid conference to bidders' questions received.

1.5 DOCUMENTS

- A. Digital Procurement and Contracting Documents: Dropbox availability by:
 - 1. Plan 4 Architecture Design, 303 N Main St., McPherson, Kansas 67460
- B. Printed Procurement and Contracting Documents:
 - 1. Obtained by contacting Plan 4 Architecture Design. Documents will be provided as complete sets of documents.
 - a. Cost: Non-Refundable Bidder Expense
 - b. Shipping: Additional shipping charges will apply.

1.6 TIME OF COMPLETION

- A. Successful bidder shall begin the Work on receipt of the Notice to Proceed and shall complete Work within the Contract Time. There will be no Liquidated Damages.

1.7 BIDDER'S QUALIFICATIONS

- A. Bidders must be prequalified by Owner.
- B. Bidders must be properly licensed under the laws governing their respective trades and be able to obtain insurance required for the Work. Insurance in the form of a Certificate from an upstanding insurance provider shall be acceptable. Farmers Alliance Insurance Co. shall be the holder and shall be listed as an additional insured. **A Performance Bond in a form acceptable to the Owner will be required of the successful Bidder.**

C. Insurance (Min Requirements)

- 1. General Liability \$1 Million per occurrence; \$2M Aggregate
- 2. Automobile \$1 Million
- 3. Umbrella \$5 Million per occurrence; \$5Million Aggregate

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4. Workman Comp \$500,000 per Accident

D. Builders Risk Insurance

1. Whole Property, Including Structures.

END OF DOCUMENT 001116

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DOCUMENT 002213 - SUPPLEMENTARY INSTRUCTIONS TO BIDDERS

1.1 INSTRUCTIONS TO BIDDERS

A. Instructions to Bidders for Project consist of the following:

1. AIA Document A701, "Instructions to Bidders."
2. The following Supplementary Instructions to Bidders that modify and add to the requirements of the Instructions to Bidders.

1.2 SUPPLEMENTARY INSTRUCTIONS TO BIDDERS, GENERAL

- A. The following supplements modify AIA Document A701, "Instructions to Bidders." Where a portion of the Instructions to Bidders is modified or deleted by these Supplementary Instructions to Bidders, unaltered portions of the Instructions to Bidders shall remain in effect.

1.3 ARTICLE 1 - DEFINITIONS

1.4 ARTICLE 2 - BIDDER'S REPRESENTATIONS

A. Add Section 2.1.3.1:

1. 2.1.3.1 - The Bidder has investigated all required fees, permits, and regulatory requirements of authorities having jurisdiction and has properly included in the submitted bid the cost of such fees, permits, and requirements not otherwise indicated as provided by Owner.

B. Add Section 2.1.5:

1. 2.1.5 - The Bidder is a properly licensed Contractor according to the laws and regulations of The City of McPherson, Kansas and meets qualifications indicated in the Procurement and Contracting Documents.

C. Add Section 2.1.6:

1. 2.1.6 - The Bidder has incorporated into the Bid adequate sums for work performed by installers whose qualifications meet those indicated in the Procurement and Contracting Documents.

1.5 ARTICLE 3 - BIDDING DOCUMENTS

A. 3.2 - Interpretation or Correction of Procurement and Contracting Documents:

1. Add Section 3.2.2.1:

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- a. 3.2.2.1 - Submit Bidder's Requests for Interpretation as submitted via email.

B. 3.4 - Addenda:

1. Delete Section 3.4.3 and replace with the following:

- a. 3.4.3 - Addenda may be issued at any time prior to the receipt of bids.

1.6 ARTICLE 4 - BIDDING PROCEDURES

A. 4.1 - Preparation of Bids:

1. Add Section 4.1.1.1:

- a. 4.1.1.1 - Printable electronic Bid Forms and related documents are available from Architect.

2. Add Section 4.1.8:

- a. 4.1.8 - The Bid shall include unit prices when called for by the Procurement and Contracting Documents. Owner may elect to consider unit prices in the determination of award. Unit prices will be incorporated into the Contract.

3. Add Section 4.1.9:

- a. 4.1.9 - Owner may elect to disqualify a bid due to failure to submit a bid in the form requested, failure to bid requested alternates or unit prices, failure to complete entries in all blanks in the Bid Form, or inclusion by the Bidder of any alternates, conditions, limitations or provisions not called for.

4. Add Section 4.1.10:

- a. 4.1.10 - Bids shall include sales and use taxes.

B. 4.3 - Submission of Bids:

1. Add Section 4.3.1.2:

- a. 4.3.1.2 - Include Bidder's Contractor License Number applicable in Project jurisdiction on the face of the sealed bid envelope.

C. 4.4 - Modification or Withdrawal of Bids:

1. Add the following sections to 4.4.2:

- a. 4.4.2.1 - Such modifications to or withdrawal of a bid may only be made by persons authorized to act on behalf of the Bidder. Authorized persons are those so identified in the Bidder's corporate bylaws, specifically empowered by the Bidder's charter or similar legally binding document acceptable to Owner, or by a power of

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attorney, signed and dated, describing the scope and limitations of the power of attorney. Make such documentation available to Owner at the time of seeking modifications or withdrawal of the Bid.

D. 4.5 - Break-Out Pricing Bid Supplement:

1. Add Section 4.5:

- a. 4.5 - Provide detailed cost breakdowns no later than two business days following Architect's request.

E. 4.6 - Subcontractors, Suppliers, and Manufacturers List Bid Supplement:

1. Add Section 4.6:

- a. 4.6 - Provide list of major subcontractors, suppliers, and manufacturers furnishing or installing products no later than two (2) business days following Architect's request. Do not change subcontractors, suppliers, and manufacturers from those submitted without approval of Architect.

1.7 ARTICLE 5 - CONSIDERATION OF BIDS

A. 5.2 - Rejection of Bids:

1. Add Section 5.2.1:

- a. 5.2.1 - Owner reserves the right to reject a bid based on Owner's and Architect's evaluation of qualification information submitted following opening of bids. Owner's evaluation of the Bidder's qualifications will include: status of licensure and record of compliance with licensing requirements, record of quality of completed work, record of Project completion and ability to complete, record of financial management including financial resources available to complete Project and record of timely payment of obligations, record of Project site management including compliance with requirements of authorities having jurisdiction, record of and number of current claims and disputes and the status of their resolution, and qualifications of the Bidder's proposed Project staff and proposed subcontractors.

1.8 ARTICLE 7 - PERFORMANCE BOND AND PAYMENT BOND

A. 7.1 - Bond Requirements:

1. Add Section 7.1.1.1:

- a. 7.1.1.1 - A Performance Bond will be required, in an amount equal to 100 percent of the Contract Sum.

B. 7.2 - Time of Delivery and Form of Bonds:

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1. Delete the first sentence of Section 7.2.1 and insert the following:
 - a. The Bidder shall deliver the required bonds to Owner no later than **seven (7)** days after the date of Notice of Intent to Award and no later than the date of execution of the Contract, whichever occurs first. Owner may deem the failure of the Bidder to deliver required bonds within the period of time allowed a default.
2. Delete Section 7.2.3 and insert the following:
 - a. 7.2.3 - Bonds shall be executed and be in force on the date of the execution of the Contract.

1.9 ARTICLE 8 - FORM OF AGREEMENT BETWEEN OWNER AND CONTRACTOR

- A. AIA Contracts A105-2017

1.10 ARTICLE 9 - EXECUTION OF THE CONTRACT

- A. Add Article 9:
 1. 9.1.1 - Subsequent to the Notice of Intent to Award, and within 10 (Ten) days after the prescribed Form of Agreement is presented to the Awardee for signature, the Awardee shall execute and deliver the Agreement to Owner through Architect, in such number of counterparts as Owner may require.
 2. 9.1.2 - Owner may deem as a default the failure of the Awardee to execute the Contract and to supply the required bonds when the Agreement is presented for signature within the period of time allowed.
 3. 9.1.3 - Unless otherwise indicated in the Procurement and Contracting Documents or the executed Agreement, the date of commencement of the Work shall be the date of the executed Agreement, **or the date that the Bidder is obligated to deliver the executed Agreement and required bonds to Owner.**
 4. 9.1.4 - In the event of a default, Owner may declare the amount of the Bid security forfeited and elect to either award the Contract to the next responsible bidder or re-advertise for bids.

END OF DOCUMENT 002213

SECTION 087100 - DOOR HARDWARE

PART 1 - GENERAL

1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and Division 1 Specification Sections, apply to this Section.

1.2 SUMMARY

- A. This Section includes commercial door hardware for the following:
 - 1. Swinging doors.
 - 2. Other doors to the extent indicated.
- B. Door hardware includes, but is not necessarily limited to, the following:
 - 1. Mechanical door hardware.
 - 2. Electromechanical door hardware.
 - 3. Cylinders specified for doors in other sections.
- C. Related Sections:
 - 1. Division 08 Section "Hollow Metal Doors and Frames".
 - 2. Division 08 Section "Flush Wood Doors".
- D. Codes and References: Comply with the version year adopted by the Authority Having Jurisdiction.
 - 1. ANSI A117.1 - Accessible and Usable Buildings and Facilities.
 - 2. ICC/IBC - International Building Code.
 - 3. NFPA 70 - National Electrical Code.
 - 4. NFPA 80 - Fire Doors and Windows.
 - 5. NFPA 101 - Life Safety Code.
 - 6. NFPA 105 - Installation of Smoke Door Assemblies.
 - 7. State Building Codes, Local Amendments.
- E. Standards: All hardware specified herein shall comply with the following industry standards as applicable. Any undated reference to a standard shall be interpreted as referring to the latest edition of that standard:
 - 1. ANSI/BHMA Certified Product Standards - A156 Series.
 - 2. UL10C - Positive Pressure Fire Tests of Door Assemblies.
 - 3. UL 305 - Panic Hardware.

1.3 SUBMITTALS

- A. Product Data: Manufacturer's product data sheets including installation details, material descriptions, dimensions of individual components and profiles, operational descriptions and finishes.
- B. Door Hardware Schedule: Prepared by or under the supervision of supplier, detailing, fabrication and assembly of door hardware, as well as procedures and diagrams. Coordinate the final Door Hardware Schedule with doors, frames, and related work to ensure proper size, thickness, hand, function, and finish of door hardware.
 - 1. Format: Comply with scheduling sequence and vertical format in DHI's "Sequence and Format for the Hardware Schedule."
 - 2. Organization: Organize the Door Hardware Schedule into door hardware sets indicating complete designations of every item required for each door or opening. Organize door hardware sets in same order as in the Door Hardware Sets at the end of Part 3. Submittals that do not follow the same format and order as the Door Hardware Sets will be rejected and subject to resubmission.
 - 3. Content: Include the following information:
 - a. Type, style, function, size, label, hand, and finish of each door hardware item.
 - b. Manufacturer of each item.
 - c. Fastenings and other pertinent information.
 - d. Location of door hardware set, cross-referenced to Drawings, both on floor plans and in door and frame schedule.
 - e. Explanation of abbreviations, symbols, and codes contained in schedule.
 - f. Mounting locations for door hardware.
 - g. Door and frame sizes and materials.
 - h. Warranty information for each product.
 - 4. Submittal Sequence: Submit the final Door Hardware Schedule at earliest possible date, particularly where approval of the Door Hardware Schedule must precede fabrication of other work that is critical in the Project construction schedule. Include Product Data, Samples, Shop Drawings of other work affected by door hardware, and other information essential to the coordinated review of the Door Hardware Schedule.
- C. Shop Drawings: Details of electrified access control hardware indicating the following:
 - 1. Wiring Diagrams: Upon receipt of approved schedules, submit detailed system wiring diagrams for power, signaling, monitoring, communication, and control of the access control system electrified hardware. Differentiate between manufacturer-installed and field-installed wiring. Include the following:
 - a. Elevation diagram of each unique access controlled opening showing location and interconnection of major system components with respect to their placement in the respective door openings.
 - b. Complete (risers, point-to-point) access control system block wiring diagrams.
 - c. Wiring instructions for each electronic component scheduled herein.

2. Electrical Coordination: Coordinate with related sections the voltages and wiring details required at electrically controlled and operated hardware openings.
- D. Keying Schedule: After a keying meeting with the owner has taken place prepare a separate keying schedule detailing final instructions. Submit the keying schedule in electronic format. Include keying system explanation, door numbers, key set symbols, hardware set numbers and special instructions. Owner must approve submitted keying schedule prior to the ordering of permanent cylinders/cores.
- E. Informational Submittals:
 1. Product Test Reports: Indicating compliance with cycle testing requirements, based on evaluation of comprehensive tests performed by manufacturer and witnessed by a qualified independent testing agency.
- F. Operating and Maintenance Manuals: Provide manufacturers operating and maintenance manuals for each item comprising the complete door hardware installation in quantity as required in Division 01, Closeout Procedures.

1.4 QUALITY ASSURANCE

- A. Manufacturers Qualifications: Engage qualified manufacturers with a minimum 5 years of documented experience in producing hardware and equipment similar to that indicated for this Project and that have a proven record of successful in-service performance.
- B. Certified Products: Where specified, products must maintain a current listing in the Builders Hardware Manufacturers Association (BHMA) Certified Products Directory (CPD).
- C. Installer Qualifications: A minimum 5 years documented experience installing both standard and electrified door hardware similar in material, design, and extent to that indicated for this Project and whose work has resulted in construction with a record of successful in-service performance.
- D. Door Hardware Supplier Qualifications: Experienced commercial door hardware distributors with a minimum 5 years documented experience supplying both mechanical and electromechanical hardware installations comparable in material, design, and extent to that indicated for this Project. Supplier recognized as a factory direct distributor by the manufacturers of the primary materials with a warehousing facility in Project's vicinity. Supplier to have on staff a certified Architectural Hardware Consultant (AHC) available during the course of the Work to consult with Contractor, Architect, and Owner concerning both standard and electromechanical door hardware and keying.
- E. Source Limitations: Obtain each type and variety of door hardware specified in this section from a single source unless otherwise indicated.
 1. Electrified modifications or enhancements made to a source manufacturer's product line by a secondary or third party source will not be accepted.
 2. Provide electromechanical door hardware from the same manufacturer as mechanical door hardware, unless otherwise indicated.

- F. Each unit to bear third party permanent label indicating compliance with the referenced testing standards.
- G. Keying Conference: Conduct conference to comply with requirements in Division 01 Section "Project Meetings." Keying conference to incorporate the following criteria into the final keying schedule document:
 - 1. Function of building, purpose of each area and degree of security required.
 - 2. Plans for existing and future key system expansion.
 - 3. Requirements for key control storage and software.
 - 4. Installation of permanent keys, cylinder cores and software.
 - 5. Address and requirements for delivery of keys.
- H. Pre-Submittal Conference: Conduct coordination conference in compliance with requirements in Division 01 Section "Project Meetings" with attendance by representatives of Supplier(s), Installer(s), and Contractor(s) to review proper methods and the procedures for receiving, handling, and installing door hardware.
 - 1. Prior to installation of door hardware, conduct a project specific training meeting to instruct the installing contractors' personnel on the proper installation and adjustment of their respective products. Product training to be attended by installers of door hardware (including electromechanical hardware) for aluminum, hollow metal and wood doors. Training will include the use of installation manuals, hardware schedules, templates and physical product samples as required.
 - 2. Inspect and discuss electrical roughing-in, power supply connections, and other preparatory work performed by other trades.
 - 3. Review sequence of operation narratives for each unique access controlled opening.
 - 4. Review and finalize construction schedule and verify availability of materials.
 - 5. Review the required inspecting, testing, commissioning, and demonstration procedures
- I. At completion of installation, provide written documentation that components were applied according to manufacturer's instructions and recommendations and according to approved schedule.

1.5 DELIVERY, STORAGE AND HANDLING

- A. Inventory door hardware on receipt and provide secure lock-up and shelving for door hardware delivered to Project site. Do not store electronic access control hardware, software or accessories at Project site without prior authorization.
- B. Tag each item or package separately with identification related to the final Door Hardware Schedule, and include basic installation instructions with each item or package.
- C. Deliver, as applicable, permanent keys, cylinders, cores, access control credentials, software and related accessories directly to Owner via registered mail or overnight package service. Instructions for delivery to the Owner shall be established at the "Keying Conference".

1.6 COORDINATION

- A. Templates: Obtain and distribute to the parties involved templates for doors, frames, and other work specified to be factory prepared for installing standard and electrified hardware. Check Shop Drawings of other work to confirm that adequate provisions are made for locating and installing hardware to comply with indicated requirements.
- B. Door and Frame Preparation: Doors and corresponding frames are to be prepared, reinforced and pre-wired (if applicable) to receive the installation of the specified electrified, monitoring, signaling and access control system hardware without additional in-field modifications.

1.7 WARRANTY

- A. General Warranty: Reference Division 01, General Requirements. Special warranties specified in this Article shall not deprive Owner of other rights Owner may have under other provisions of the Contract Documents and shall be in addition to, and run concurrent with, other warranties made by Contractor under requirements of the Contract Documents.
- B. Warranty Period: Written warranty, executed by manufacturer(s), agreeing to repair or replace components of standard and electrified door hardware that fails in materials or workmanship within specified warranty period after final acceptance by the Owner. Failures include, but are not limited to, the following:
 - 1. Structural failures including excessive deflection, cracking, or breakage.
 - 2. Faulty operation of the hardware.
 - 3. Deterioration of metals, metal finishes, and other materials beyond normal weathering.
 - 4. Electrical component defects and failures within the systems operation.
- C. Warranty Period: Unless otherwise indicated, warranty shall be one year from date of Substantial Completion.

PART 2 - PRODUCTS

2.1 SCHEDULED DOOR HARDWARE

- A. General: Provide door hardware for each door to comply with requirements in Door Hardware Sets and each referenced section that products are to be supplied under.
- B. Designations: Requirements for quantity, item, size, finish or color, grade, function, and other distinctive qualities of each type of door hardware are indicated in the Door Hardware Sets at the end of Part 3. Products are identified by using door hardware designations, as follows:
 - 1. Named Manufacturer's Products: Product designation and manufacturer are listed for each door hardware type required for the purpose of establishing requirements. Manufacturers' names are abbreviated in the Door Hardware Schedule.
- C. Please note that ASSA ABLOY is transitioning the Yale Commercial brand to ASSA ABLOY ACCENTRA. This affects only the brand name; the products and product numbers will remain

unchanged. The brand transition is expected to be complete in or about May of 2024, and products shipping after that time will be branded ASSA ABLOY ACCENTRA.

- D. Substitutions: Requests for substitution and product approval for inclusive mechanical and electromechanical door hardware in compliance with the specifications must be submitted in writing and in accordance with the procedures and time frames outlined in Division 01, Substitution Procedures. Approval of requests is at the discretion of the architect, owner, and their designated consultants.

2.2 BUTT HINGES

- A. Hinges: ANSI/BHMA A156.1 butt hinges with number of hinge knuckles and other options as specified in the Door Hardware Sets.

1. Quantity: Provide the following hinge quantity:
 - a. Two Hinges: For doors with heights up to 60 inches.
 - b. Three Hinges: For doors with heights 61 to 90 inches.
 - c. Four Hinges: For doors with heights 91 to 120 inches.
 - d. For doors with heights more than 120 inches, provide 4 hinges, plus 1 hinge for every 30 inches of door height greater than 120 inches.
2. Hinge Size: Provide the following, unless otherwise indicated, with hinge widths sized for door thickness and clearances required:
 - a. Widths up to 3'0": 4-1/2" standard or heavy weight as specified.
 - b. Sizes from 3'1" to 4'0": 5" standard or heavy weight as specified.
3. Hinge Weight and Base Material: Unless otherwise indicated, provide the following:
 - a. Exterior Doors: Heavy weight, non-ferrous, ball bearing or oil impregnated bearing hinges unless Hardware Sets indicate standard weight.
 - b. Interior Doors: Standard weight, steel, ball bearing or oil impregnated bearing hinges unless Hardware Sets indicate heavy weight.
4. Hinge Options: Comply with the following:
 - a. Non-removable Pins: With the exception of electric through wire hinges, provide set screw in hinge barrel that, when tightened into a groove in hinge pin, prevents removal of pin while door is closed; for the all out-swinging lockable doors.
5. Manufacturers:
 - a. Ives (IV) - 5BB Series, 5-knuckle.
 - b. McKinney (MK) - TA/T4A Series, 5-knuckle.
 - c. dormakaba Best (ST) - F/FBB Series, 5-knuckle.

2.3 DOOR OPERATING TRIM

- A. Flush Bolts and Surface Bolts: Provide products conforming to ANSI/BHMA A156.3 and A156.16, Grade 1.
1. Flush bolts to be furnished with top rod of sufficient length to allow bolt retraction device location approximately six feet from the floor.
 2. Furnish dust proof strikes for bottom bolts.
 3. Surface bolts to be minimum 8" in length and U.L. listed for labeled fire doors and U.L. listed for windstorm components where applicable.
 4. Provide related accessories (mounting brackets, strikes, coordinators, etc.) as required for appropriate installation and operation.
 5. Manufacturers:
 - a. Burns Manufacturing (BU).
 - b. Door Controls International (DC).
 - c. Rockwood (RO).

2.4 CYLINDERS AND KEYING

- A. General: Cylinder manufacturer to have minimum (10) years experience designing secured master key systems and have on record a published security keying system policy.
1. Manufacturers:
 - a. Match Existing, Field Verify.
- B. Cylinder Types: Original manufacturer cylinders able to supply the following cylinder formats and types:
1. Threaded mortise cylinders with rings and cams to suit hardware application.
 2. Rim cylinders with back plate, flat-type vertical or horizontal tailpiece, and raised trim ring.
 3. Bored or cylindrical lock cylinders with tailpieces as required to suit locks.
 4. Tubular deadlocks and other auxiliary locks.
 5. Mortise and rim cylinder collars to be solid and recessed to allow the cylinder face to be flush and be free spinning with matching finishes.
 6. Keyway: Match Facility Standard.
- C. Keying System: Each type of lock and cylinders to be factory keyed.
1. Supplier shall conduct a "Keying Conference" to define and document keying system instructions and requirements.
 2. Furnish factory cut, nickel-silver large bow permanently inscribed with a visual key control number as directed by Owner.
 3. Existing System: Field verify and key cylinders to match Owner's existing system.
- D. Key Quantity: Provide the following minimum number of keys:

1. Change Keys per Cylinder: Two (2)
2. Master Keys (per Master Key Level/Group): Five (5).

E. Key Registration List (Bitting List):

1. Provide keying transcript list to Owner's representative in the proper format for importing into key control software.
2. Provide transcript list in writing or electronic file as directed by the Owner.

2.5 CYLINDRICAL LOCKS AND LATCHING DEVICES

A. Cylindrical Locksets, Grade 1 (Heavy Duty): ANSI/BHMA A156.2, Series 4000, Operational Grade 1 Certified Products Directory (CPD) listed cylindrical locksets. Listed manufacturers shall meet all functions and features as specified herein.

B. Cylindrical Locksets, Grade 1 (Commercial Duty): ANSI/BHMA A156.2, Series 4000, Operational Grade 1 Certified Products Directory (CPD) listed cylindrical locksets. Listed manufacturers shall meet all functions and features as specified herein.

1. Manufacturers:

- a. ASSA ABLOY ACCENTRA, formerly known as Yale (YA) 4700LN Series.
- b. Arrow (AW) - QL Series.
- c. No Substitution.

2.6 LOCK AND LATCH STRIKES

A. Strikes: Provide manufacturer's standard strike with strike box for each latch or lock bolt, with curved lip extended to protect frame, finished to match door hardware set, unless otherwise indicated, and as follows:

1. Flat-Lip Strikes: For locks with three-piece antifriction latchbolts, as recommended by manufacturer.
2. Extra-Long-Lip Strikes: For locks used on frames with applied wood casing trim.
3. Aluminum-Frame Strike Box: Provide manufacturer's special strike box fabricated for aluminum framing.
4. Double-lipped strikes: For locks at double acting doors. Furnish with retractable stop for rescue hardware applications.

B. Standards: Comply with the following:

1. Strikes for Mortise Locks and Latches: BHMA A156.13.
2. Strikes for Bored Locks and Latches: BHMA A156.2.
3. Strikes for Auxiliary Deadlocks: BHMA A156.36.
4. Dustproof Strikes: BHMA A156.16.

2.7 CONVENTIONAL EXIT DEVICES

- A. General Requirements: All exit devices specified herein shall meet or exceed the following criteria:
1. Exit devices shall have a five-year warranty.
 2. At doors not requiring a fire rating, provide devices complying with NFPA 101 and listed and labeled for "Panic Hardware" according to UL305. Provide proper fasteners as required by manufacturer including sex nuts and bolts at openings specified in the Hardware Sets.
 3. Where exit devices are required on fire rated doors, provide devices complying with NFPA 80 and with UL labeling indicating "Fire Exit Hardware". Provide devices with the proper fasteners for installation as tested and listed by UL. Consult manufacturer's catalog and template book for specific requirements.
 4. Except on fire rated doors, provide exit devices with hex key dogging device to hold the pushbar and latch in a retracted position. Provide optional keyed cylinder dogging on devices where specified in Hardware Sets.
 5. Devices must fit flat against the door face with no gap that permits unauthorized dogging of the push bar. The addition of filler strips is required in any case where the door light extends behind the device as in a full glass configuration.
 6. Lever Operating Trim: Where exit devices require lever trim, furnish manufacturer's heavy duty escutcheon trim with threaded studs for thru-bolts.
 - a. Lock Trim Design: As indicated in Hardware Sets, provide finishes and designs to match that of the specified locksets.
 - b. Where function of exit device requires a cylinder, provide a cylinder (Rim or Mortise) as specified in Hardware Sets.
 7. Vertical Rod Exit Devices: Where surface or concealed vertical rod exit devices are used at interior openings, provide as less bottom rod (LBR) unless otherwise indicated. Provide dust proof strikes where thermal pins are required to project into the floor.
 8. Narrow Stile Applications: At doors constructed with narrow stiles, or as specified in Hardware Sets, provide devices designed for maximum 2" wide stiles.
 9. Dummy Push Bar: Nonfunctioning push bar matching functional push bar.
 10. Rail Sizing: Provide exit device rails factory sized for proper door width application.
 11. Through Bolt Installation: For exit devices and trim as indicated in Door Hardware Sets.
- B. Conventional Push Rail Exit Devices (Commercial Duty): ANSI/BHMA A156.3, Grade 1 Certified Products Directory (CPD) listed exit devices. Listed manufacturers shall meet all functions and features as specified herein. Listed manufacturers shall meet all functions and features as specified herein.
1. Provide locksets with functions and features as follows:
 - a. Where required by code, provide knurling or abrasive coating on all levers leading to hazardous areas.
 - b. Meets UL and CUL Standard 10C Positive Pressure, Fire Test of Door Assemblies with levers that meet A117.1 Accessibility Code.
 - c. Five-year limited warranty for mechanical features.

2. Manufacturers:

- a. ASSA ABLOY ACCENTRA, formerly known as Yale (YA) - 6000 Series.
- b. Adams Rite Manufacturing (AD) - 8000 Series.

2.8 DOOR CLOSERS

A. All door closers specified herein shall meet or exceed the following criteria:

1. General: Door closers to be from one manufacturer, matching in design and style, with the same type door preparations and templates regardless of application or spring size. Closers to be non-handed with full sized covers.
2. Standards: Closers to comply with UL-10C for Positive Pressure Fire Test and be U.L. listed for use of fire rated doors.
3. Size of Units: Comply with manufacturer's written recommendations for sizing of door closers depending on size of door, exposure to weather, and anticipated frequency of use. Where closers are indicated for doors required to be accessible to the Americans with Disabilities Act, provide units complying with ANSI ICC/A117.1.
4. Closer Arms: Provide heavy duty, forged steel closer arms unless otherwise indicated in Hardware Sets.
5. Closers shall not be installed on exterior or corridor side of doors; where possible install closers on door for optimum aesthetics.
6. Closer Accessories: Provide door closer accessories including custom templates, special mounting brackets, spacers and drop plates as required for proper installation. Provide through-bolt and security type fasteners as specified in the hardware sets.

B. Door Closers, Surface Mounted (Standard Duty): ANSI/BHMA 156.4, Grade 1 Certified Products Directory (CPD) listed surface mounted, institutional grade door closers with complete spring power adjustment, sizes 1 thru 6; and fully operational adjustable according to door size, frequency of use, and opening force. Closers to be rack and pinion type, one piece cast iron or aluminum alloy body construction, with adjustable backcheck, closing sweep, and latch speed control valves. Provide non-handed units standard.

1. Manufacturers:

- a. ASSA ABLOY ACCENTRA, formerly known as Yale (YA) - 2700 Series.
- b. Corbin Russwin Hardware (RU) - DC3000 Series.
- c. Sargent Manufacturing (SA) - 1331 Series.
- d. Norton Rixson (NO) - 210 Series

2.9 SURFACE MOUNTED CLOSER HOLDERS

A. Electromagnetic Door Holders: ANSI A156.15 electromagnetic door holder/releases with a minimum 20 to 40 pounds holding power and single coil construction able to accommodate 12VDC, 24VAC, 24VDC and 120VAC. Coils to be independently wound, employing an integral fuse and armatures to include a positive release button.

1. Manufacturers:

- a. Norton Rixson (RF) - 980/990 Series.
- b. Sargent Manufacturing (SA) - 1560 Series.

2.10 ARCHITECTURAL TRIM

A. Door Protective Trim

1. General: Door protective trim units to be of type and design as specified below or in the Hardware Sets.
2. Size: Fabricate protection plates (kick, armor, or mop) not more than 2" less than door width (LDW) on stop side of single doors and 1" LDW on stop side of pairs of doors, and not more than 1" less than door width on pull side. Coordinate and provide proper width and height as required where conflicting hardware dictates. Height to be as specified in the Hardware Sets.
3. Where plates are applied to fire rated doors with the top of the plate more than 16" above the bottom of the door, provide plates complying with NFPA 80. Consult manufacturer's catalog and template book for specific requirements for size and applications.
4. Protection Plates: ANSI/BHMA A156.6 protection plates (kick, armor, or mop), fabricated from the following:
 - a. Stainless Steel: 300 grade, 050-inch thick.
5. Options and fasteners: Provide manufacturer's designated fastener type as specified in the Hardware Sets. Provide countersunk screw holes.
6. Manufacturers:
 - a. Burns Manufacturing (BU).
 - b. Hiawatha, Inc. (HI).
 - c. Rockwood (RO).
 - d. Trimco (TC).

2.11 DOOR STOPS AND HOLDERS

- A. General: Door stops and holders to be of type and design as specified below or in the Hardware Sets.
- B. Door Stops and Bumpers: ANSI/BHMA A156.16, Grade 1 door stops and wall bumpers. Provide wall bumpers, either convex or concave types with anchorage as indicated, unless floor or other types of door stops are specified in Hardware Sets. Do not mount floor stops where they will impede traffic. Where floor or wall bumpers are not appropriate, provide overhead type stops and holders.
 1. Manufacturers:
 - a. Burns Manufacturing (BU).
 - b. Hiawatha, Inc. (HI).
 - c. Rockwood (RO).
 - d. Trimco (TC).

2.12 ARCHITECTURAL SEALS

- A. General: Thresholds, weatherstripping, and gasket seals to be of type and design as specified below or in the Hardware Sets. Provide continuous weatherstrip gasketing on exterior doors and provide smoke, light, or sound gasketing on interior doors where indicated. At exterior applications provide non-corrosive fasteners and elsewhere where indicated.
- B. Smoke Labeled Gasketing: Assemblies complying with NFPA 105 that are listed and labeled by a testing and inspecting agency acceptable to authorities having jurisdiction, for smoke control ratings indicated, based on testing according to UL 1784.
 - 1. Provide smoke labeled perimeter gasketing at all smoke labeled openings.
- C. Fire Labeled Gasketing: Assemblies complying with NFPA 80 that are listed and labeled by a testing and inspecting agency acceptable to authorities having jurisdiction, for fire ratings indicated, based on testing according to UL-10C.
 - 1. Provide intumescent seals as indicated to meet UL10C Standard for Positive Pressure Fire Tests of Door Assemblies, and NFPA 252, Standard Methods of Fire Tests of Door Assemblies.
- D. Sound-Rated Gasketing: Assemblies that are listed and labeled by a testing and inspecting agency, for sound ratings indicated.
- E. Replaceable Seal Strips: Provide only those units where resilient or flexible seal strips are easily replaceable and readily available from stocks maintained by manufacturer.
- F. Manufacturers:
 - 1. National Guard Products (NG).
 - 2. Pemko (PE).
 - 3. Reese Enterprises, Inc. (RE).

2.13 FABRICATION

- A. Fasteners: Provide door hardware manufactured to comply with published templates generally prepared for machine, wood, and sheet metal screws. Provide screws according to manufacturers recognized installation standards for application intended.

2.14 FINISHES

- A. Standard: Designations used in the Hardware Sets and elsewhere indicate hardware finishes complying with ANSI/BHMA A156.18, including coordination with traditional U.S. finishes indicated by certain manufacturers for their products.
- B. Provide quality of finish, including thickness of plating or coating (if any), composition, hardness, and other qualities complying with manufacturer's standards, but in no case less than specified by referenced standards for the applicable units of hardware

- C. Protect mechanical finishes on exposed surfaces from damage by applying a strippable, temporary protective covering before shipping.

PART 3 - EXECUTION

3.1 EXAMINATION

- A. Examine scheduled openings, with Installer present, for compliance with requirements for installation tolerances, labeled fire door assembly construction, wall and floor construction, and other conditions affecting performance.
- B. Notify architect of any discrepancies or conflicts between the door schedule, door types, drawings and scheduled hardware. Proceed only after such discrepancies or conflicts have been resolved in writing.

3.2 PREPARATION

- A. Hollow Metal Doors and Frames: Comply with ANSI/DHI A115 series.
- B. Wood Doors: Comply with ANSI/DHI A115-W series.

3.3 INSTALLATION

- A. Install each item of mechanical and electromechanical hardware and access control equipment to comply with manufacturer's written instructions and according to specifications.
 - 1. Installers are to be trained and certified by the manufacturer on the proper installation and adjustment of fire, life safety, and security products including: hanging devices; locking devices; closing devices; and seals.
- B. Mounting Heights: Mount door hardware units at heights indicated in following applicable publications, unless specifically indicated or required to comply with governing regulations:
 - 1. Standard Steel Doors and Frames: DHI's "Recommended Locations for Architectural Hardware for Standard Steel Doors and Frames."
 - 2. DHI TDH-007-20: Installation Guide for Doors and Hardware.
 - 3. Where indicated to comply with accessibility requirements, comply with ANSI A117.1 "Accessibility Guidelines for Buildings and Facilities."
 - 4. Provide blocking in drywall partitions where wall stops or other wall mounted hardware is located.
- C. Retrofitting: Install door hardware to comply with manufacturer's published templates and written instructions. Where cutting and fitting are required to install door hardware onto or into surfaces that are later to be painted or finished in another way, coordinate removal, storage, and reinstallation of surface protective trim units with finishing work specified in Division 9 Sections. Do not install surface-mounted items until finishes have been completed on substrates involved.

- D. Thresholds: Set thresholds for exterior and acoustical doors in full bed of sealant complying with requirements specified in Division 7 Section "Joint Sealants."
- E. Storage: Provide a secure lock up for hardware delivered to the project but not yet installed. Control the handling and installation of hardware items so that the completion of the work will not be delayed by hardware losses before and after installation.

3.4 FIELD QUALITY CONTROL

- A. Field Inspection (Punch Report): Reference Division 01 Sections "Closeout Procedures". Produce project punch report for each installed door opening indicating compliance with approved submittals and verification hardware is properly installed, operating and adjusted. Include list of items to be completed and corrected, indicating the reasons or deficiencies causing the Work to be incomplete or rejected.
 - 1. Organization of List: Include separate Door Opening and Deficiencies and Corrective Action Lists organized by Mark, Opening Remarks and Comments, and related Opening Images and Video Recordings.

3.5 ADJUSTING

- A. Initial Adjustment: Adjust and check each operating item of door hardware and each door to ensure proper operation or function of every unit. Replace units that cannot be adjusted to operate as intended. Adjust door control devices to compensate for final operation of heating and ventilating equipment and to comply with referenced accessibility requirements.

3.6 CLEANING AND PROTECTION

- A. Protect all hardware stored on construction site in a covered and dry place. Protect exposed hardware installed on doors during the construction phase. Install any and all hardware at the latest possible time frame.
- B. Clean adjacent surfaces soiled by door hardware installation.
- C. Clean operating items as necessary to restore proper finish. Provide final protection and maintain conditions that ensure door hardware is without damage or deterioration at time of owner occupancy.

3.7 DEMONSTRATION

- A. Instruct Owner's maintenance personnel to adjust, operate, and maintain mechanical and electromechanical door hardware.

3.8 DOOR HARDWARE SETS

- A. The hardware sets represent the design intent and direction of the owner and architect. They are a guideline only and should not be considered a detailed hardware schedule. Discrepancies, conflicting hardware and missing items should be brought to the attention of the architect with

corrections made prior to the bidding process. Omitted items not included in a hardware set should be scheduled with the appropriate additional hardware required for proper application and functionality.

1. Quantities listed are for each pair of doors, or for each single door.
2. The supplier is responsible for handing and sizing all products.
3. Where multiple options for a piece of hardware are given in a single line item, the supplier shall provide the appropriate application for the opening.

B. Manufacturer's Abbreviations:

1. MK - McKinney
2. RO - Rockwood
3. YA - ASSA ABLOY ACCENTRA
4. RF - Rixson
5. PE - Pemko

Hardware Sets

Set: 1.0

Doors: 201/01

Description: Storage (Rated)

6 Hinge, Full Mortise	TA2714 4-1/2" x 4-1/2"	US26D	MK
1 Dust Proof Strike	570	US26D	RO
2 Flush Bolt	555-12	US26D	RO
1 Fire Rated Rim Exit, Passage	6100FED PB628F	630	YA
1 Surface Closer (Active Leaf)	2731	689	YA
2 Kick Plate (Room Interior)	K1050 10" x 2" LDW CSK BEV	US32D	RO
1 Gasketing	S88BL (Head & Jambs)		PE
1 Astragal	(Intergal to Door Rating Per Door Manf)		

Set: 2.0

Doors: 202/01

Description: Training Room (Rated)

3 Hinge, Full Mortise	TA2714 4-1/2" x 4-1/2"	US26D	MK
1 Fire Rated Rim Exit, Passage	6100FED PB628F	630	YA
1 Surface Closer	P2701	689	YA
1 Kick Plate	K1050 10" x 2" LDW CSK BEV	US32D	RO
1 Wall Stop	409	US32D	RO
1 Gasketing	S88BL (Head & Jambs)		PE

Set: 3.0

Doors: 202/02, 202/03

Description: Training Room

FARMERS ALLIANCE MUTUAL INSURANCE
MCPHERSON, KS

Notes: All hardware furnished by Door Supplier.

Set: 4.0

Doors: 207/01, 208/01

Description: Kitchen

Notes: All hardware furnished by Door Supplier.

Set: 5.0

Doors: 209/01

Description: Hallway (Rated)

6 Hinge, Full Mortise	T4A4786 or T4A3786 4-1/2" x 5"	US26D	MK
2 Fire Rated Surf Vert Rod, Passage	6170FED LBR PB628F	630	YA
2 Surface Closer	P2701	689	YA
2 Kick Plate	K1050 10" x 1" LDW CSK BEV	US32D	RO
1 Wall Stop	409	US32D	RO
1 Electromagnetic Holder	998M	689	RF ⚡
2 Astragal	18041CNB x Door Height		PE
1 Gasketing	S88BL (Head & Jambs)		PE

Notes: One leaf to swing 180 degrees and be on magnetic hold open.

Set: 6.0

Doors: 209/02

Description: Hallway (Rated)

3 Hinge, Full Mortise	TA2714 4-1/2" x 4-1/2"	US26D	MK
1 Fire Rated Rim Exit, Passage	6100FED PB628F	630	YA
1 Surface Closer	2731	689	YA
1 Kick Plate	K1050 10" x 2" LDW CSK BEV	US32D	RO
1 Gasketing	S88BL (Head & Jambs)		PE

Set: 7.0

Doors: 209/03

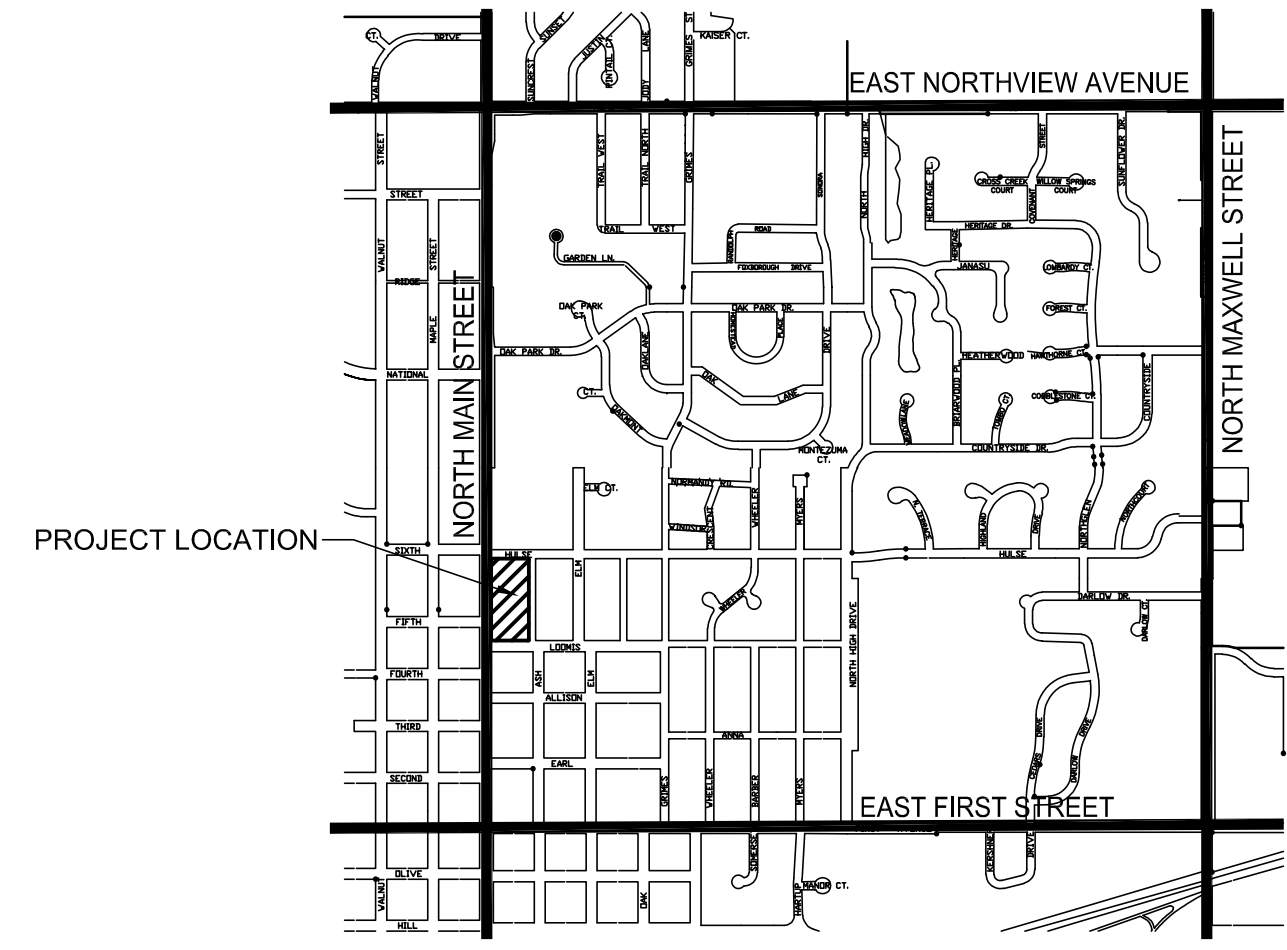
Description: Store (Rated)

Notes: All hardware is existing and will remain.

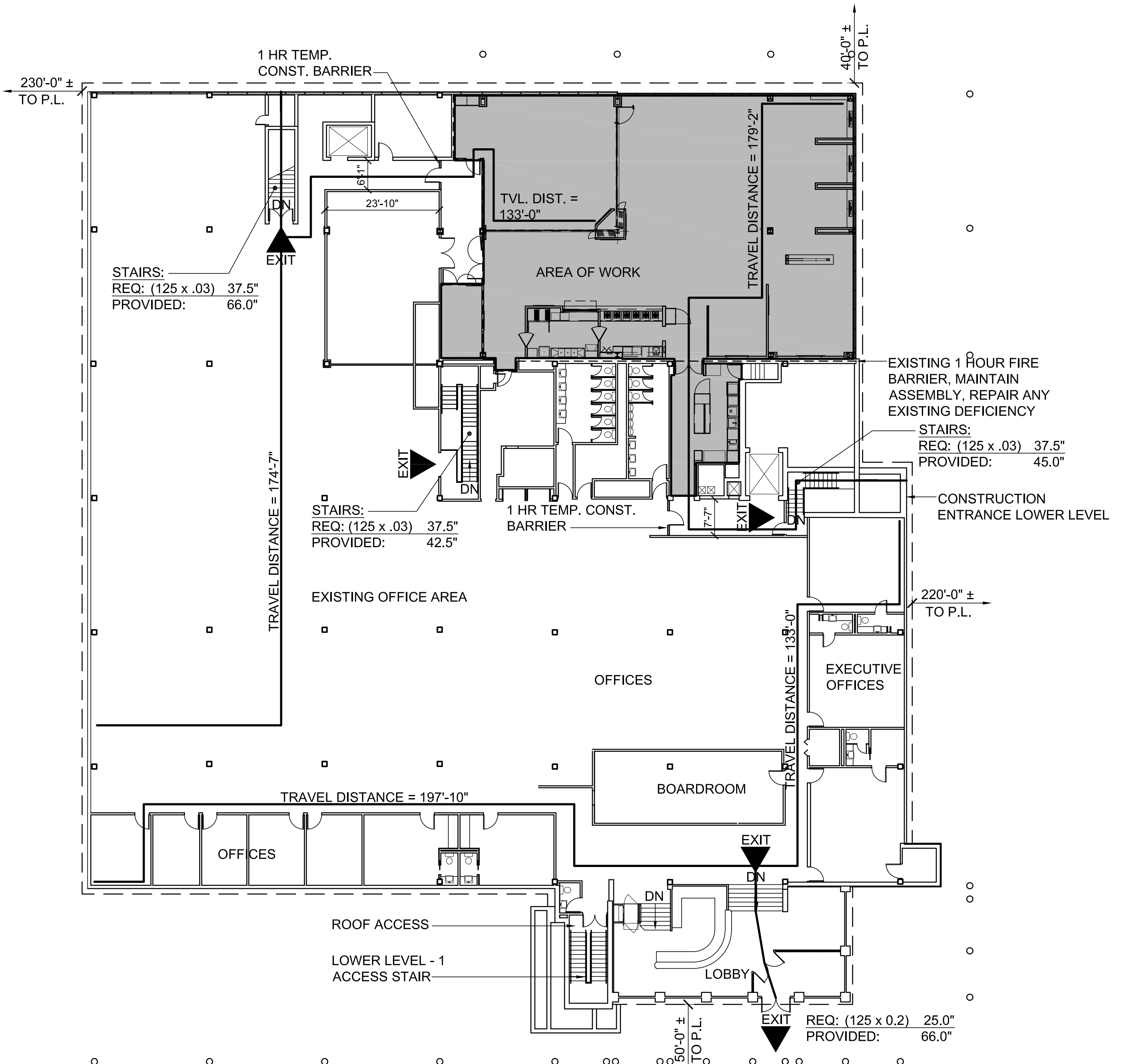
END OF SECTION 087100

BUILDING INFORMATION:

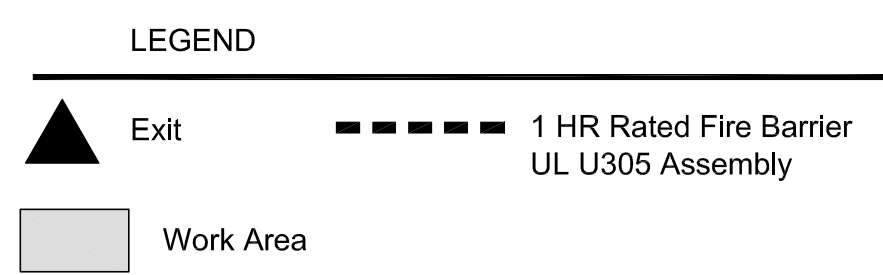
Building Use: Office Building
Location: 1122 North Main
 McPherson, Kansas 67460
Architect: Plan4 Architecture Design
 303 North Main
 McPherson, Kansas 67460
 620.241.4353
Applicable Building Codes: 2018 - International Building Code
 2018 - International Fire Code
 2018 - International Plumbing Code
 2018 - International Mechanical Code
 2018 - International Fuel Gas Code
 2017 - National Electrical Code
 2018 - International Existing Building Code
Other Applicable Standards: 2010 - ADA Standards for Accessible Design
Building History: The existing building was originally constructed in 1956, with additions to the existing in 1965 and 1989. The building is a 2 story structure with the lower level partial below grade and upper level elevated above grade. 3 stairways lead directed to the exit discharge with 1 stairway interconnected not more than 2 levels internally. Over the buildings life it has undergone several alteration to the interior areas and exterior. The use of the building has always existed as the main office / headquarters for Farmers Alliance Insurance since 1956. Many of the additions and alterations occurred prior to any adopted building code in the City of McPherson. Since a building code adoption several alterations have been made over the years under the adopted code at the time.
Historical Code Information: Existing Building: Non-Separated Construction Type IIIB
 2006 Renovation Completed Under 2003 IBC
 Actual Area/ Hgt/ Stories: Level - 1 27,239 sq. ft.
 Level - 2 26,290 sq. ft. / ~ 25 ft. / 2 Stories
Existing Area By Use: Level - 1 B 23,194 sq. ft.
 Other Accessory 4,045 sq. ft.
 Level - 2 B 26,720 sq. ft.
 Other Accessory 1,570 sq. ft.
Occupant Load: Level - 2
 A-2 15 253 occ.
 B 100 245 occ.
 Total 498 occ. / 4 Exits / 125 per exit
 Stairs: 125 x .3 = 37.5"
 Doors: 125 x .2 = 25"
 Max. Travel Distance: 200 ft Non-Sprinklered Building



A2 VICINITY MAP
 SCALE: NONE



B4 LEVEL - 2 PLAN
 SCALE: 1/16" = 1'-0"
 0 4 8 16 FT



CODE COMPLIANCE PLAN

Farmers Alliance Mutual Insurance
 1122 North Main
 McPherson, Kansas 67460

Contract Date	
Rev No. 1	
Rev No. 2	
Rev No. 3	
Rev No. 4	
Rev No. 5	
Rev No. 6	
Project Number:	23.20
DWG File	CC100.dwg
Designed By:	plan4
Drawn By:	CJH
Approved By:	plan4
Date:	03.25.24



SHEET NUMBER

CC100

11 x 17 = 1/2 scale

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PLAN4
 ARCHITECTURE DESIGN
 www.plan4arch.com
 303 north main st., mcpherson kansas 620.241.4353

Applicable Building Codes:
 2018 - International Building Code
 2018 - International Fire Code
 2018 - International Plumbing Code
 2018 - International Mechanical Code
 2018 - International Fuel Gas Code
 2017 - National Electrical Code
 2018 - International Existing Building Code

Project Proposal:
 Remodel of an existing 4000 s.f. office break room and conference/meeting rooms. The work area will be within the existing 4 bounding walls of the existing area currently serving the same use. The alteration, under 2018 IEBC is categorized as level-2, and is 17% of the existing floor area. Improvements will be made to the mechanical system currently serving the area. The most significant work will be up-dating / replacement of finishes, such as flooring, walls, ceiling and lighting.

Applicable Code Req. To The Work Area Alteration Level 2

Occupancy Group: 2018 IBC Equivalent Mixed-Use	B - Business A-2 - Assembly	Construction Type (2018 IBC Equivalent) Type III-B Type III-B
Allowable Area/ Hgt/ Stories:	9,500 sq. ft. / 55 ft / 2 Stories (Most Restrictive)	
Actual Area/ Hgt/ Stories:	28,290 sq. ft. / ~ 25 ft ± / 2 Stories	
Area By Occupancy Use:	Level - 1 Level - 2	No Change B Accessory A-2
		27,239 sq. ft. 22,931 sq. ft. 1,570 sq. ft. 3,789 sq. ft.
Work Area:		4,794 sq. ft. (17% of Level - 2)

Occupant Load:

Table 1004.5	(sf)	(occ ld)
Storage (300)	270	1
Conference Room (15)	825	55
Break Room (15)	2,275	152
Break Area (100)	185	2
Collaboration Zone	220	12
Fireplace Lounge (15)	458	31
Small Lounge (15)	133	9
Kitchen (200)	270	1
Total	4,636	263

Egress:

Area of Work Only: 2nd Floor
 Level 2 Exits Req'd (Table 1006.3.3(2)): 2 Exits
 Level 2 Exits Provided: 3 Exits
 Width Required (Section 1005.3.2): 263 x .3 = 78.9" (Stairs - Outside of Work Area)
 Width Provided: 156" Egress - Other than Stairs
 Common Path of Egress (Table 1006.2.1): Not to Exceed 75 ft (A, B)
 Exit Travel Distance (Table 1017.2): Not to Exceed 200 ft (A, B)
 Dead End Corridors: 35 ft. - Exception 2, B occupancy = 50 ft. (2018 IEBC 805.6)

Fire Protection:

Automatic Sprinkler System: 2018 NFPA 13: No Existing System, 2018 IEBC, Level 2 Alterations - **Not Required**
 (2018 IEBC 803.2.2)
 1. The work area is required to be provided with automatic sprinkler protection in accordance with IBC applicable to new construction - 903.2.1.2. - YES
 2. Work area exceeds 50% of floor area. - NO (17%)

Fire Alarms & Detection: 2018 NFPA 72: Existing System throughout, 2018 IEBC, Level 2 Alterations - **Required**
 2018 IEBC (803.4.1) Automatic Activation Required Throughout
 2018 IBC, 907.2.1 Over 300 / or over 100 above / below lowest level of exit discharge

Fire Extinguisher: 2018 NFPA 10: 2A:10BC - Dry Chemical
 Fire Hydrant Requirements: Interior Alteration, No Change to Building Area (Existing to Remain)
 Fire Truck Access: 4 Sides
 Roof Classification: Class C Required (Existing mod. bit & metal standing seam)

Interior Finishes:

Interior Exit Stairs	Corridors	Rooms
B - Class A	Class B	Class C
A-2 - Class A	Class A	Class B OR C when occ. is below 300

Kansas Fire Prevention Code:
 K.S.A. 31-133 and 31-134a:
 Most buildings new or existing have one or more deviations from one of the recognized building codes. State law mandates compliance to the Kansas Fire Prevention Code (KFPC) in all occupied structures. State law can be summarized as: a) existing structures cannot have "distinctly hazardous conditions" - those that impede speedy exit"; b) new construction and changes in occupancy shall comply to current standards; and c) additions or changes in existing buildings cannot make the existing condition worse or block exiting.

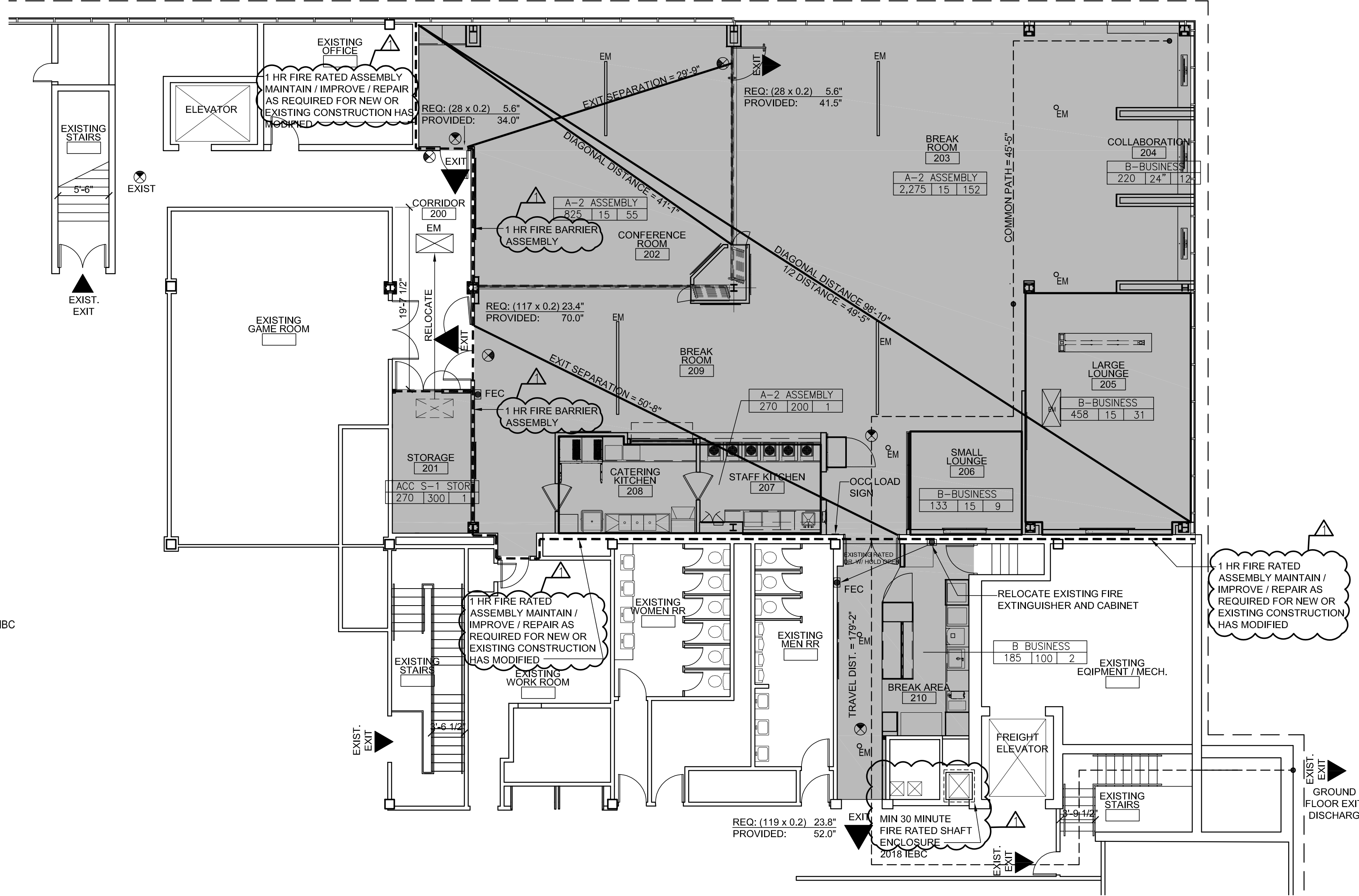
*Most corrections to distinctly hazardous conditions compensate for the impaired exiting. Many compensatory measures acceptable to the Kansas State Fire Marshall's Office do not upgrade the building to meet the letter of a building, fire or life safety code. Existing portions of many buildings do not comply with a certain building code and should be specified as meeting the Kansas Fire Prevention Code.

Code Footprint Definition (KFSM):
 This document is a code footprint which shows owner compliance of state law to protect occupants from dangers of fire and explosion, and is the written and graphic description of the intended life safety features in a public building.

The code footprint defines minimum features of a code footprint for an objective evaluation by uniform applications of state law using minimum resources. It also makes the code footprint available to assist local fire or building officials view for new construction and changes in use and provides a building owner with life safety choices to best suit their circumstances at the outset of construction or renovations. It is a simple record, not a complete record, of the designer's life safety features, and is a fixed code target for the life of the building.

LEGEND

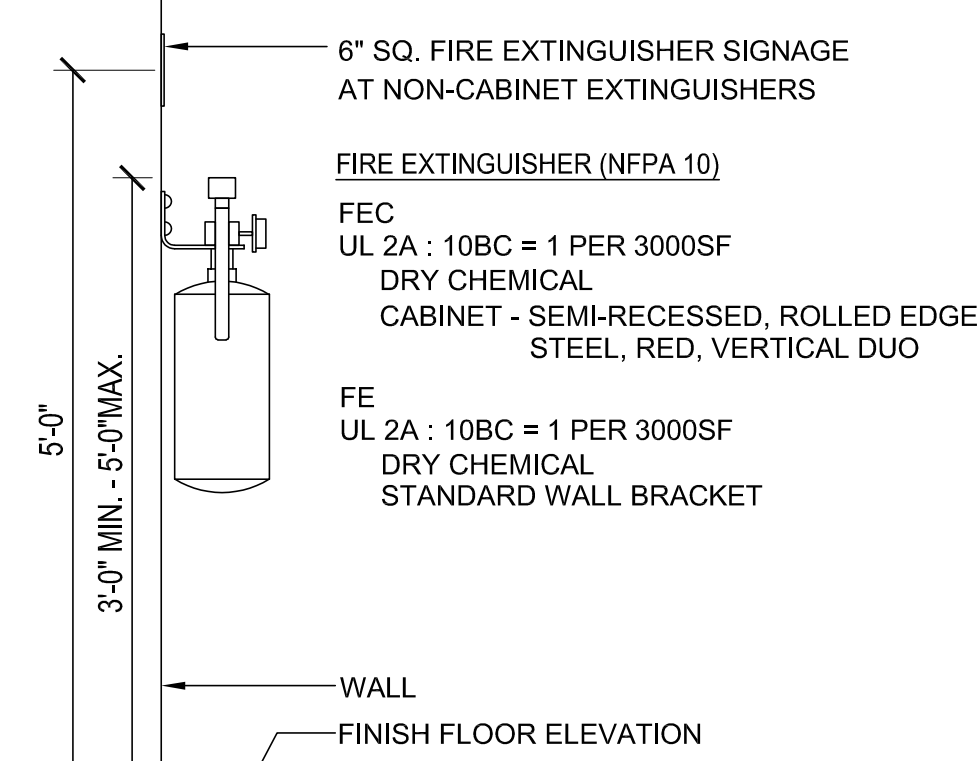
- ▲ Exit
- ▲⊕ Exit Light/Sign & Emergency Light Combo w/Battery Back-Up
- ⊕ Remote Ext. Emergency Light
- FE Fire Extinguisher
- ⊕FEC Fire Extinguisher in Cabinet
- KB Knox Box
- ⊕ Exit Sign w/ Battery Back-up
- ▲ Emergency Light w/Battery back-up
- 1 HR Rated Fire Barrier Existing
- UL U305 Assembly
- EM Emergency Light Fixture w/Internal Battery back-up



B4 LEVEL-2 PARTIAL CODE PLAN
 SCALE: 1/8"=1'-0"

Table 601 Fire Resistance Rating For Building Elements (Hours)

Building Element	Type III-B
Structural Frame Including Columns, Girders, Trusses	0
Bearing Walls Exterior	2
Bearing Walls Interior	0
Non-Bearing Walls and Partitions Exterior	0
Non-Bearing Walls and Partitions Interior	0
Floor Construction Including Supporting Beams and Joists	0
Roof Construction Including Supporting Beams and Joists	0
Enclosed Corridors (Table 1020.1) Non-Sprinklered Building > 30 occ.	1



NOTES:
 1. BASIS OF DESIGN UL 2A:10BC
 2. MOUNT TO WALL WITH NUMBER AND SIZE OF ANCHORS TO MATCH BRACKET.
 3. MINIMUM REQUIREMENT IS 1 2A FOR EACH 3,000 SF OF BUILDING AREA.
 4. MINIMUM REQUIREMENT IS 1 FOR EACH 75 FT OF TRAVEL DISTANCE.

CODE COMPLIANCE PLAN

Farmers Alliance Mutual Insurance
 1122 North Main
 McPherson, Kansas 67460

Contract Date	
Rev No. 1 ADDEM #1	04.08.24
Rev No. 2	
Rev No. 3	
Rev No. 4	
Rev No. 5	
Rev No. 6	
Project Number:	23.20
DWG File	CC101.dwg
Designed By:	plan4
Drawn By:	CJH
Approved By:	plan4
Date:	03.25.24



SHEET NUMBER

CC101

11 x 17 = 1/2 scale

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PLAN4
 ARCHITECTURE DESIGN
 www.plan4arch.com
 303 north main st., mcpherson kansas 67024-14353

TEMPORARY SEPARATION WALL: (BEFORE COMMENCING ANY WORK)

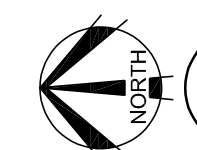
TEMPORARY WALL TO BE CONSTRUCTED WITH 2x4's @ 16" O.C. WITH 5/8" TYPE 'X' GYP. BD. BOTH SIDES. DOOR TO BE A CONSTRUCTION ACCESS ONLY 20 MINUTE DOOR AND FRAME. THIS WALL IS TO BE MAINTAINED FOR THE DURATION OF THE CONSTRUCTION PROJECT.

GENERAL DEMOLITION NOTES:

1. CONTRACTOR TO NOTIFY ARCHITECT AND OWNER IF MATERIALS CONTAINING HAZARDOUS MATERIALS ARE ENCOUNTERED.
2. CONFORM TO APPLICABLE REGULATORY PROCEDURES WHEN DISCOVERING HAZARDOUS OR CONTAMINATED MATERIALS
3. CONFORM TO APPLICABLE CODE FOR DEMOLITION OF STRUCTURES, SAFETY OF ADJACENT STRUCTURES, DUST CONTROL AND DISPOSAL OF MATERIALS.
4. DEMOLISH EXISTING WORK IN AN ORDERLY AND CAREFUL MANNER AS REQUIRED TO ACCOMMODATE NEW WORK, PREVENT MOVEMENT OR SETTLEMENT OF STRUCTURE. PROVIDE BRACING AND OR SHORING AS REQUIRED TO MAINTAIN SAFETY.
5. COORDINATE ALL DEMOLITION WORK WITH OWNER AS NECESSARY.
6. GENERAL CONTRACTOR TO NOTIFY OWNER REPRESENTATIVE AND ARCHITECT OF ANY DISCREPANCIES OR IRREGULARITIES DISCOVERED DURING CONSTRUCTION.
7. GENERAL CONTRACTOR TO COORDINATE WITH OWNER SCHEDULE AND TIMING OF DEMOLITION WORK. CONTRACTOR TO PROVIDE AND INSTALL ALL TEMPORARY MEANS OF EGRESS, TEMPORARY LIGHTING AND SAFETY DEVICES IN ACCORDANCE WITH STATE AND LOCAL CODES.
8. ALL EXISTING SURFACES TO REMAIN SHALL BE PROTECTED. CONTRACTOR IS RESPONSIBLE FOR PATCHING AND REPAIRING EXISTING FLOOR SLABS AND WALLS AFTER COMPLETION OF DEMOLITION AND PRIOR TO THE COMMENCEMENT OF NEW CONSTRUCTION.
9. CONTRACTOR IS TO PATCH, REPAIR AND LEVEL EXISTING FLOOR SLAB TO RECEIVE NEW WORK AND INFORM OWNER'S REPRESENTATIVE AND ARCHITECT OF ANY IRREGULARITIES.
10. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE FIRE RATING AND INTEGRITY OF EXISTING WALLS AND CEILINGS.
11. ALL FIREPROOFING AT STRUCTURAL ELEMENTS SHALL REMAIN U.N.O. ANY FIREPROOFING REMOVED AND/OR DAMAGES DURING THE COURSE OF DEMOLITION AND SUBSEQUENT CONSTRUCTION SHALL BE REPLACED WITH THE SAME MATERIALS AND RATINGS AS THAT WHICH WAS REMOVED AT THE CONTRACTORS EXPENSE.
12. DEMOLITION CONTRACTOR SHALL REMOVE ALL EXISTING FLOOR COVERING AND/OR FINISHES, UNDERLAYMENT, GLUE AND OTHER ADHESIVE AND SHALL PREPARE THE FLOOR SLAB FOR THE NEW FLOOR FINISHES OR COVERINGS AS SPECIFIED BY THE MANUFACTURER.
13. DEMOLITION CONTRACTOR SHALL COORDINATE ALL MECHANICAL, ELECTRICAL AND PLUMBING DEMOLITION WORK WITH PLANS PRIOR TO THE COMMENCEMENT OF ANY WORK AND COORDINATE THEIR WORK WITH THE GENERAL CONTRACTOR AND OTHER SUB-CONTRACTORS AS NECESSARY.
14. ALL MECHANICAL, ELECTRICAL AND PLUMBING FIXTURES, EQUIPMENT AND/OR DEVICES IN WORKING AND IN SATISFACTORY CONDITION TO REMAIN AND RE-USED AS NOTED PER PLANS. WHEN SPECIFIED TO BE SALVAGED OR RECONDITIONED FOR RE-USE, THESE ITEMS ARE TO BE INSPECTED BY A QUALIFIED TECHNICIAN OR TRADESPERSON AND SHALL ADVISE THE OWNER AND ARCHITECT OF VIABILITY OF SALVAGED ITEMS FOR RE-USE. COORDINATE WITH MECHANICAL, ELECTRICAL AND PLUMBING PLANS.
15. ALL MECHANICAL, ELECTRICAL AND PLUMBING FIXTURES, EQUIPMENT AND/OR DEVICES SCHEDULED TO BE REMOVED SHALL BE DISCONNECTED AT THE SOURCE UNLESS NOTED OR DIRECTED OTHERWISE. COORDINATE ALL WORK WITH MECHANICAL ELECTRICAL AND PLUMBING PLANS.
16. ALL EXISTING DUCTWORK AND DIFFUSERS ARE TO BE REMOVED TO EXTENT REQUIRED TO REMOVE EXISTING CEILING AND INSTALL NEW CEILING. ALL ABANDONED HVAC EQUIPMENT AND DUCTWORK SHALL BE REMOVED.
17. ALL ELECTRICAL POWER MUST BE DISCONNECTED BEFORE STARTING DEMOLITION. G.C. TO COORDINATE WITH OWNER REPRESENTATIVE AND ENSURE THAT ELECTRICAL DISRUPTION TO ADJACENT SPACES IS MINIMAL.
18. CONTRACTOR TO COORDINATE THE REMOVAL, DISCONNECTION AND/OR CAPPING OF ANY UTILITIES WITH OWNER AS NECESSARY. ALL UNDER-SLAB UTILITIES LINES TO BE CUT, CAPPED AND SEALED PER STATE AND LOCAL CODES.
19. ELECTRICAL CONTRACTOR SHALL DISCONNECT AND REMOVE ALL EXISTING ELECTRICAL AND TELEPHONE OUTLETS AND ALL ASSOCIATED WIRES IN WALLS SCHEDULE TO BE REMOVED AND TERMINATED AT THE LAST OUTLET THAT REMAINS IN SERVICE.
20. ALL EMPTY AND ABANDONED CONDUIT AND JUNCTION BOXES TO BE REMOVED BACK TO IT'S SOURCE.
21. REMOVAL AND CAPPING OF PLUMBING FIXTURES TO BE COORDINATED PER PLAN AND WITH GENERAL CONTRACTOR TO MAINTAIN REQUIRED MINIMUM USAGE DURING CONSTRUCTION (WHEN APPLICABLE). CONTRACTOR IS RESPONSIBLE FOR ANY REQUIRED HAZARDOUS MATERIAL TESTING.
22. CONTRACTOR TO REMOVE OWNER EQUIPMENT AND STORE AT OWNER LOCATION. IE. AUDIO/VIDEO, CAMERAS, SECURITY, ETC.

DEMOLITION NOTES:

- ① REMOVE EXISTING WALL.
- ② REMOVE EXISTING FOLDING WALL ASSEMBLY, HARDWARE, OVERHEAD TRACK, ETC., IN THEIR ENTIRETY.
- ③ REMOVE EXISTING DOOR, FRAME & HARDWARE.
- ④ REMOVE EXISTING CASEWORK. (RETAIN AT OWNER REQUESTS)
- ⑤ REMOVE EXISTING FLOOR FINISH.
- ⑥ REMOVE EXISTING CEILING SYSTEM, LIGHT FIXTURES, SMOKE DETECTORS, STROBE LIGHTS, MECH DIFFUSERS.
- ⑦ REMOVE PORTION OF EXISTING WALL FOR NEW DOOR OPENING. REFERENCE FLOOR PLAN.
- ⑧ EXISTING FLOOR FINISH TO REMAIN. REPLACE DAMAGED AREA AS REQUIRED.
- ⑨ REMOVE EXISTING WOOD TRIM, BASE AND PLYWOOD FROM COLUMNS, WALLS AND CEILING.
- ⑩ REMOVE AND SALVAGE EXISTING FIRE EXTINGUISHER AND CABINET. REF. PLAN FOR RELOCATION.
- ⑪ CONTRACTOR TO COORDINATE WITH OWNER - REMOVAL OF FOOD / BEVERAGE VENDOR EQUIPMENT.
- ⑫ REMOVE EXISTING DUMBWAITER EQUIPMENT AND ALL EQUIPMENT ASSOCIATED. MAINTAIN EXISTING VERTICAL OPENING WITH 30 MINUTE FIRE RATED ENCLOSURE.



A1 PARTIAL LEVEL - 2 DEMOLITION
SCALE: 1/8" = 1'-0"

11 x 17 = 1/2 scale

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EXISTING PLANS

Farmers Alliance Mutual Insurance
1122 North Main
McPherson, Kansas 67460

PLAN4
ARCHITECTURE DESIGN www.plan4arch.com
303 north main st., mcpherson kansas 67024-14353

Contract Date	
Rev No. 1	
Rev No. 2	
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Project Number:	23.20
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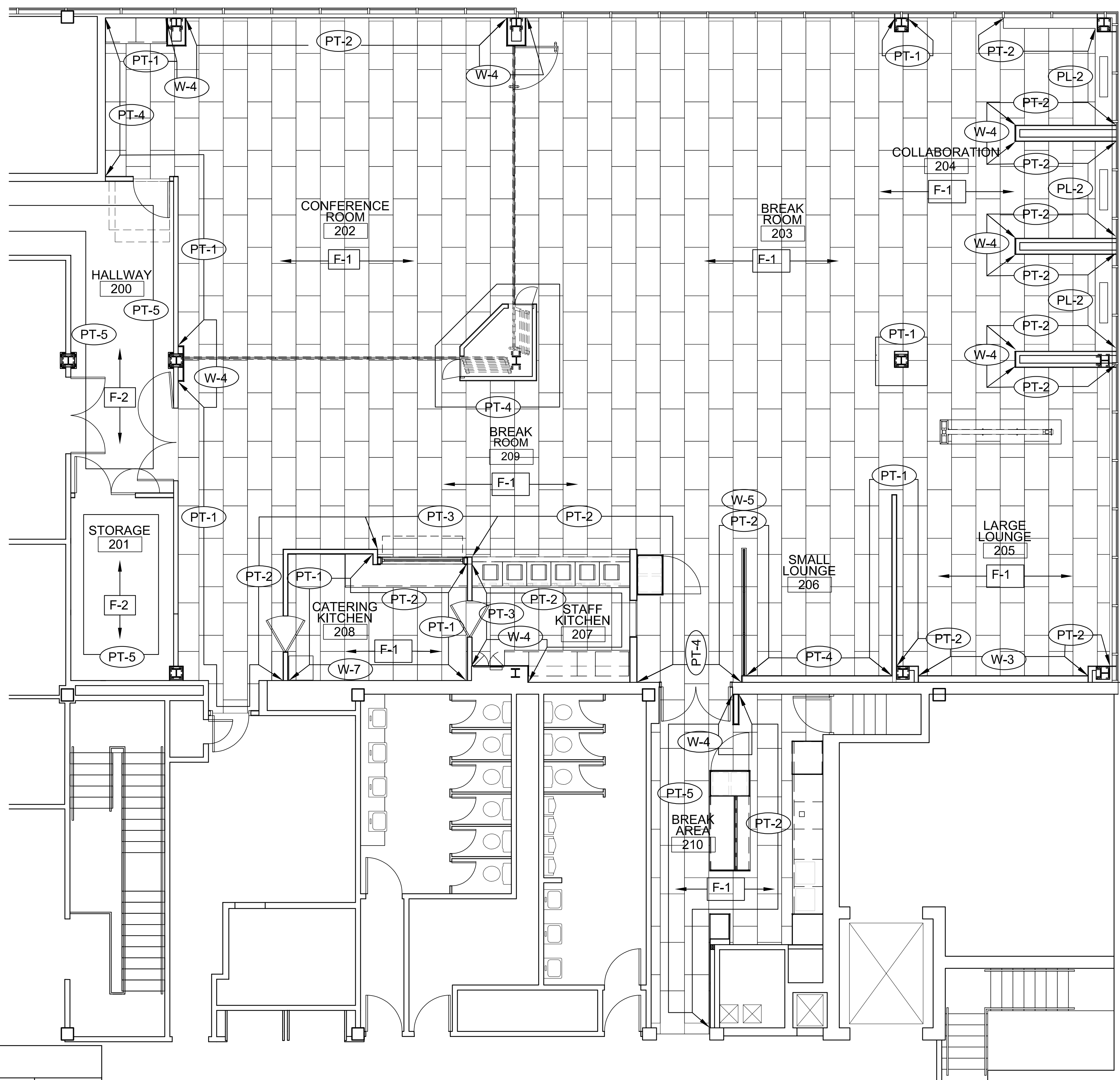


SHEET NUMBER
AD102

FINISH MATERIAL LIST

FLOORING	BASE	PAINT
F-1 FLOOR TILE MFR: ANATOLIA / VIRGINIA TILE STYLE: INDUSTRIA HD PORCELAIN TILE COLOR: LITHIUM, RECTIFIED SIZE: 24"x48"x13/32" MORTAR: SCHLUTER ALL-SET, GRAY CRACK ISOLATION BARRIER: SCHLUTER DITRA GROUT: TEC POWER GROUT - SLATE GRAY PATTERN: 33% OFFSET	B-1 TILE BASE @ NON-TILED WALLS MFR: ANATOLIA / VIRGINIA TILE STYLE: INDUSTRIA HD PORCELAIN TILE COLOR: LITHIUM, RECTIFIED SIZE: 12"x24"x13/32" CUT - 4" FINISHED HEIGHT MORTAR: SCHLUTER ALL-SET, GRAY GROUT: TEC POWER GROUT - SLATE GRAY TOP TRIM: SCHLUTER QUADREC 7/16", LIGHT ANTHRACITE	PRIMER SHERWIN WILLIAMS: PROMAR 200 PRIMER (B28W2600) (INTERIOR WALLS & CEILING) PT (1 PRIME COAT, 2 FINISH COATS) PT-1 WALL PAINT MFR: SHERWIN WILLIAMS - SUPER PAINT COLOR: UNCERTAIN GRAY SW 6234 FINISH: SATIN
F-2 CARPET TILE MFR: J&J INVISION STYLE: J&J INVISION COLOR: J&J INVISION SIZE: J&J INVISION PATTERN: QUARTER TURN NOTE: FIELD VERIFY, REPLACE AS REQUIRED	B-2 BASE @ CASEWORK MFR: WILSONART COLOR: CHARCOAL VELVET, TRACELESS FINISH MOUNT ON 3/4" PLYWD. B-3 TILE BASE @ NON-TILED WALLS w/ PT-2 MFR: ANATOLIA / VIRGINIA TILE STYLE: INDUSTRIA HD PORCELAIN TILE COLOR: LITHIUM, RECTIFIED SIZE: 12"x24"x13/32" CUT - 4" FINISHED HEIGHT MORTAR: SCHLUTER ALL-SET, GRAY GROUT: TEC POWER GROUT - RAVEN TOP TRIM: SCHLUTER QUADREC 7/16", DARK ANTHRACITE TEXTURED B-4 BASE @ CARPET MFR: JOHNSONITE TRADITIONAL COLOR: CHARCOAL 4" W/ TOE ADHESIVE: PARABOND FUSION X	PT-2 WALL PAINT MFR: SHERWIN WILLIAMS - SUPER PAINT COLOR: IRON ORE SW 7069 FINISH: FLAT PT-3 WALL PAINT - ACCENT MFR: SHERWIN WILLIAMS - DURATION HOME COLOR: CUSTOM MATCH, SW 6866 REAL RED BASE FINISH: MATTE PT-4 WALL PAINT MFR: SHERWIN WILLIAMS - SUPER PAINT COLOR: EXTRA WHITE SW 7006 FINISH: SATIN PT-5 WALL PAINT MFR: SHERWIN WILLIAMS - SUPER PAINT COLOR: EVENING SHADOW 7662 FINISH: SATIN PT-6 CEILING PAINT MFR: SHERWIN WILLIAMS - SUPER PAINT COLOR: EXTRA WHITE SW 7006 FINISH: MATTE PT-7 CEILING PAINT MFR: SHERWIN WILLIAMS - SUPER PAINT COLOR: IRON ORE SW 7069 FINISH: MATTE
W-1 BACKSPLASH TILE MFR: EQUIPE CERAMICAS/ M&S STYLE: COCO COLOR: AMBER GREY MATTE SIZE: 2" x 6" MORTAR: TEC DOUBLE DUTY GROUT: TEC POWER GROUT, SLATE GRAY PATTERN: VERTICAL 50% OFFSET	DOORS DOOR AND FRAME ST-1 WOOD DOORS MFR: MINWAX COLOR: HABITAT MW 427 PT-2 HOLLOW METAL FRAMES MFR: SHERWIN WILLIAMS - SUPER PAINT COLOR: IRON ORE SW 7069 FINISH: FLAT	CEILING C-1 CEILING TILE CLOUD MFR: USG GRID: DONN BRAND IDENTITEE DXI FINELINE COLOR: WHITE PANEL: HALCYON - FL #98225 COLOR: WHITE SIZE: 24" x 24" x 1" C-2 CEILING TILE UPPER CEILING MFR: USG GRID: DONN BRAND IDENTITEE DXI FINELINE COLOR: FLAT BLACK PANEL: HALCYON - FL #98225 COLOR: FLAT BLACK SIZE: 24" x 24" x 1" C-3 CEILING TILE PERFORATED MFR: ARKTURA STYLE: VAPOR VERVE W/ FROSTED BACKER COLOR: T-GRID WHITE (MATTE) ALUMINUM POWDER COAT W/ FROSTED BACKER SIZE: 24"x1-1/2" C-4 GYP. BD. CLG. TO BE PAINTED. SEE PT-6 C-5 GYP. BD. CLG. TO BE PAINTED. SEE PT-7
W-2 UNDER BAR WALL TILE MFR: EQUIPE CERAMICAS/ M&S STYLE: COCO COLOR: BLACK HAT MATTE SIZE: 2" x 6" MORTAR: TEC DOUBLE DUTY GROUT: TEC POWER GROUT - RAVEN PATTERN: VERTICAL 33% OFFSET	CASEWORK PL-1 CABINERY MFR: WILSONART TRACELESS COLOR: CHARCOAL VELVET 15504-31 PL-2 CABINERY MFR: WILSONART PRODUCT: SOLICOR HORIZONTAL GRADE LAMINATE .048" - 161 CHARCOAL VELVET 15504-31 TRACELESS FINISH W EDGES	PULLS/ HANDLES PU-1 CABINERY DOOR PULL MFR: HARDWARE RESOURCES ELEMENTS STYLE: KNOX, 128MM COLOR: MATTE BLACK 645-128MB PU-2 CABINERY DRAWER PULL MFR: HARDWARE RESOURCES ELEMENTS STYLE: KNOX, 224MM COLOR: MATTE BLACK 645-224MB
W-3 WALL TILE @ FIREPLACE LOUNGE MFR: CAESAR CERAMICHE - VIRGINIA TILE STYLE: RELATE COLOR: MINE SIZE: 12" x 24" x 3/8" MORTAR: TEC DOUBLE DUTY PLUS ADHESIVE GROUT: TEC POWER GROUT - RAVEN PATTERN: VERTICAL 33% OFFSET	COUNTERTOPS Q-1 QUARTZ @ COUNTERTOP MFR: MSI Q QUARTZ COLOR: MARBELLA WHITE	
W-4 PERFORATED METAL PANELS MFR: MOZ MTRL: .063" PERFORATED ALUMINUM STYLE: 3/16" DIA. BY 5/16" STG. CTRS. COLOR: CLASSIC KHAKI FOG MATTE SIZE: VARIES		
W-5 FROSTED RESIN W/ PERFORATED METAL PANEL MFR: 3FORM WALL STYLE: FULLY FRAMED, TOP SUPPORT PARTITION JET BLACK MATTE STYLE: CUSTOM DIGITAL PRINT MATERIAL: VARIA 3/8" FINISH: SANDSTONE F01 FINISH		
W-6 PLYWOOD WALL PANEL MFR: - STYLE: - COLOR: ST-1 SIZE: VARIES		
W-7 FRP WALL PANEL MFR: MARLITE STYLE: ARTIZAN CEMENT FINISH COLOR: 2410 - SKY NATURAL CONCRETE SIZE: 4'-0" x 10'-0"		

- NOTES TO FINISH:**
- REF SHEET A121 CEILING PLAN FOR FINISH LOCATIONS.
 - ALL WALLS AT 9' A.F.F. ON UP, TO BE PAINTED PT-2.
- NOTES FOR TILE INSTALLATION**
- FOLLOW PROPER TILE SETTING, GROUT APPLICATION AND DRYING PROCEDURES.
 - DO NOT WALK ON THE FLOOR FOR AT LEAST 72 HOURS, GROUT MUST HAVE THE PROPER CURING TIME.
 - FOLLOW INSTRUCTIONS FOR WEEKLY/DEEP CLEAN CLEANING USING A "HEAVY-DUTY STONE, TILE AND GROUT CLEANER" TO REMOVE GROUT HAZE FROM INITIAL INSTALLATION, MOST LIKELY, THERE WILL BE GROUT HAZE NOT VISIBLE TO THE NAKED EYE.
 - ALLOW FLOOR TO COMPLETELY DRY, FLOOR SHOULD THEN BE READY TO COVER.
 - ALL TILE SHOULD BE COVERED WITH RAM BOARD, PLYWOOD OR A SIMILAR MATERIAL AT ALL TIMES PRIOR TO OPENING.
 - NO CONSTRUCTION DUST, DIRT, OR GRIME SHOULD TOUCH THE PROPERLY CLEANED FLOOR. THIS IS DETRIMENTAL TO THE LONG-TERM CARE OF THE FLOOR.



FINISH SCHEDULE

ROOM #	ROOM NAME	FLOOR FINISH	BASE FINISH	NORTH WALL	EAST WALL	SOUTH WALL	WEST WALL	CEILING FINISH	NOTES
200	HALLWAY	OWNER'S STOCK	EXISTING	PT-5	PT-5	PT-5	PT-5	EXISTING	-
201	STORAGE	OWNER'S STOCK	B-4	PT-5	PT-5	PT-5	PT-5	C-4	-
202	CONFERENCE ROOM	F-1	B-1/B-2/B-3	PT-4/PT-1/W-4	PT-1/PT-2/W-4	PT-4/W-4	PT-4	C-1 / C-2 / C-4	-
203	BREAK ROOM	F-1	B-1	PT-4/PT-2/W-4	PT-1/W-4	PT-1	PT-4	C-1 / C-2 / C-4	-
204	COLLABORATION	F-1	B-3	PT-1	PT-2/PT-1	PL-2/W-4	PT-2	C-4 / C-1	-
205	LARGE LOUNGE	F-1	B-1/B-3	PT-2	PT-2 / PT-1	PT-2	PT-2/W-3	C-3 / C-4	-
206	SMALL LOUNGE	F-1	B-1	W-5/PT-2	-	PT-1	PT-4	C-4	-
207	STAFF KITCHEN	F-1	B-1/B-2	PT-3	PT-2	PT-2	PT-2/W-4/W-1	C-1	-
208	CATERING KITCHEN	F-1	B-1/B-2	PT-1	PT-2/PT-1	PT-1	W-7	C-1	-
209	BREAK ROOM	F-1	B-1/B-3	PT-1/W-4	PT-4	PT-2	PT-2/PT-3/PT-1/W-2	C-1 / C-2 / C-4	-
210	BREAK AREA	F-1	B-1/B-2	PT-5	PT-5/W-4/PT-2	PT-2/W-1/PT-5	PT-2/PT-5	C-1 / C-4	-

A4 FINISH FLOOR PLAN
SCALE: 3/16" = 1'-0"
0 2 4 8 FT

PLAN4 ARCHITECTURE DESIGN
www.plan4arch.com
303 north main st., mcpherson kansas 67241-4353

FINISH SCHEDULE

Farmers Alliance Mutual Insurance
1122 North Main
McPherson, Kansas 67460

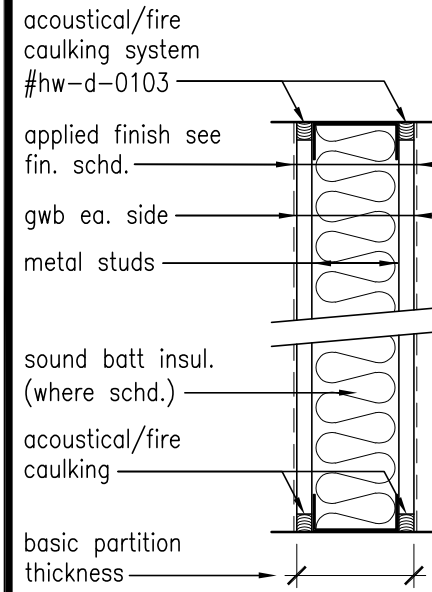
Contract Date	
Rev No. 1 ADDEM #1	04.08.2024
Rev No. 2	
Rev No. 3	
Rev No. 4	
Rev No. 5	
Rev No. 6	
Project Number:	23.20
DWG File	A010.dwg
Designed By:	plan4
Drawn By:	GSC
Approved By:	plan4
Date:	03.25.24



SHEET NUMBER
A010

11 x 17 = 1/2 scale

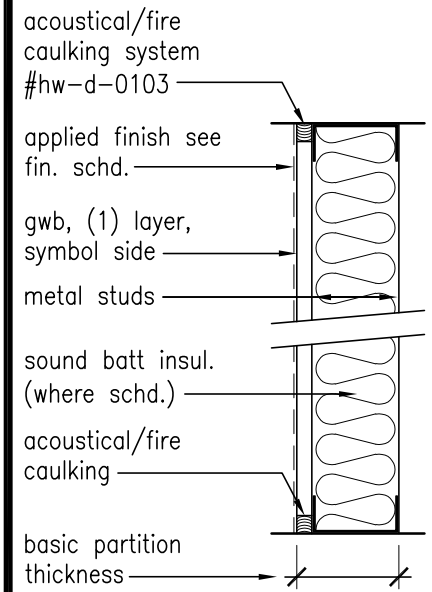
notes:
use water resistant gwb in all toilets, janitor closets, lockers, showers and kitchen areas.



MTL STUD PART. W/ SGL LAYER OF GWB, EA. SIDE

PARTITION SYSTEM A

notes:
use water resistant gwb in all toilets, janitor closets, lockers, showers and kitchen areas.



MTL STUD PART. W/ SGL LAYER ON ONE SIDE

PARTITION SYSTEM D

partition identification plan symbol	A1-H	A2-H	A3-H
basic partition thickness	4-7/8"	7-1/4"	4-7/8"
stud size	3-5/8"	6"	3-5/8"
metal thickness (gauge)	20 ga	20 ga	20 ga
fire rating (hrs)			1 HR
fire test number			UL U305
acoustical rating (stc)			
acoustical test number			
insulation thickness			3-5/8"
gwb thickness	5/8"	5/8"	5/8"
acoustical caulking			
fire caulking			YES
stud spacing (o.c.)	16"	16"	16"
studs to ceiling			
studs to structure above			YES
studs to structure above w/ gwb to 6" above ceiling	YES	YES	
remarks:			

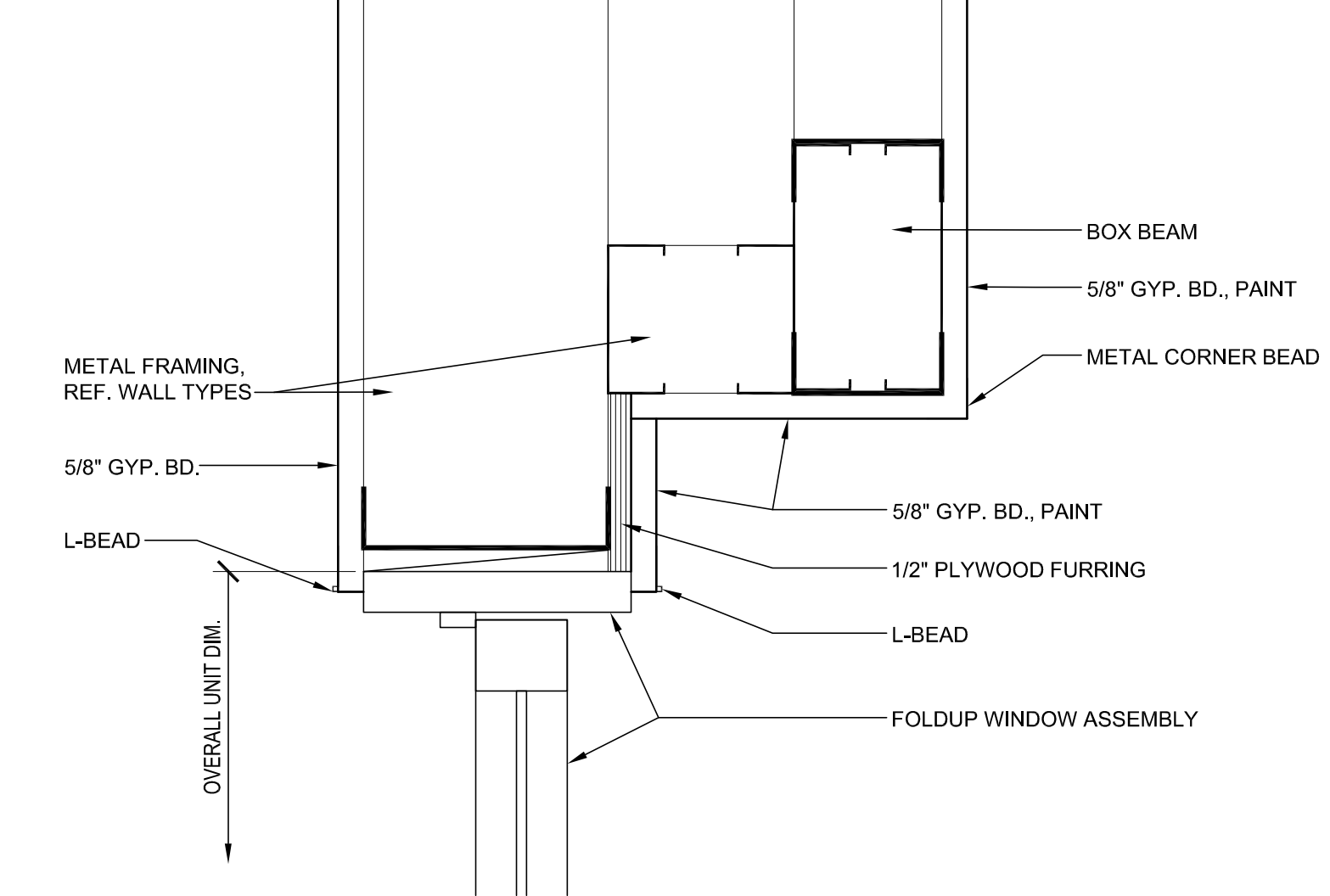
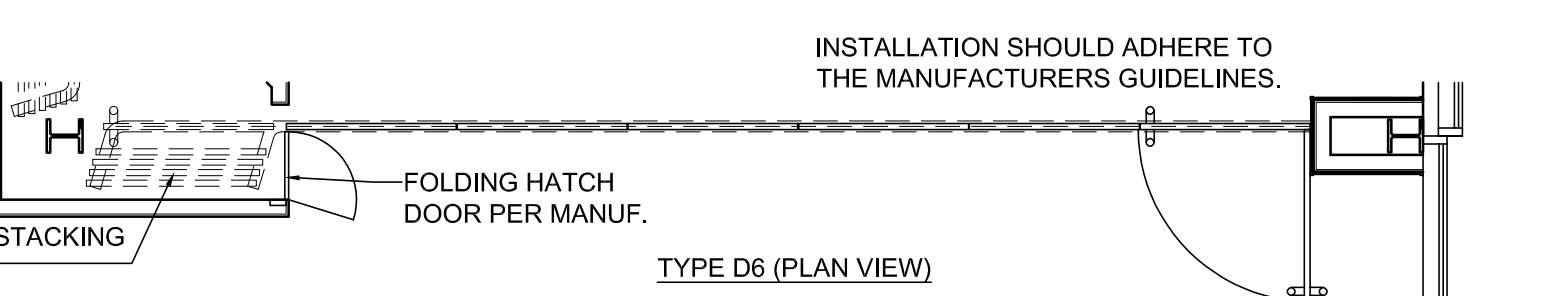
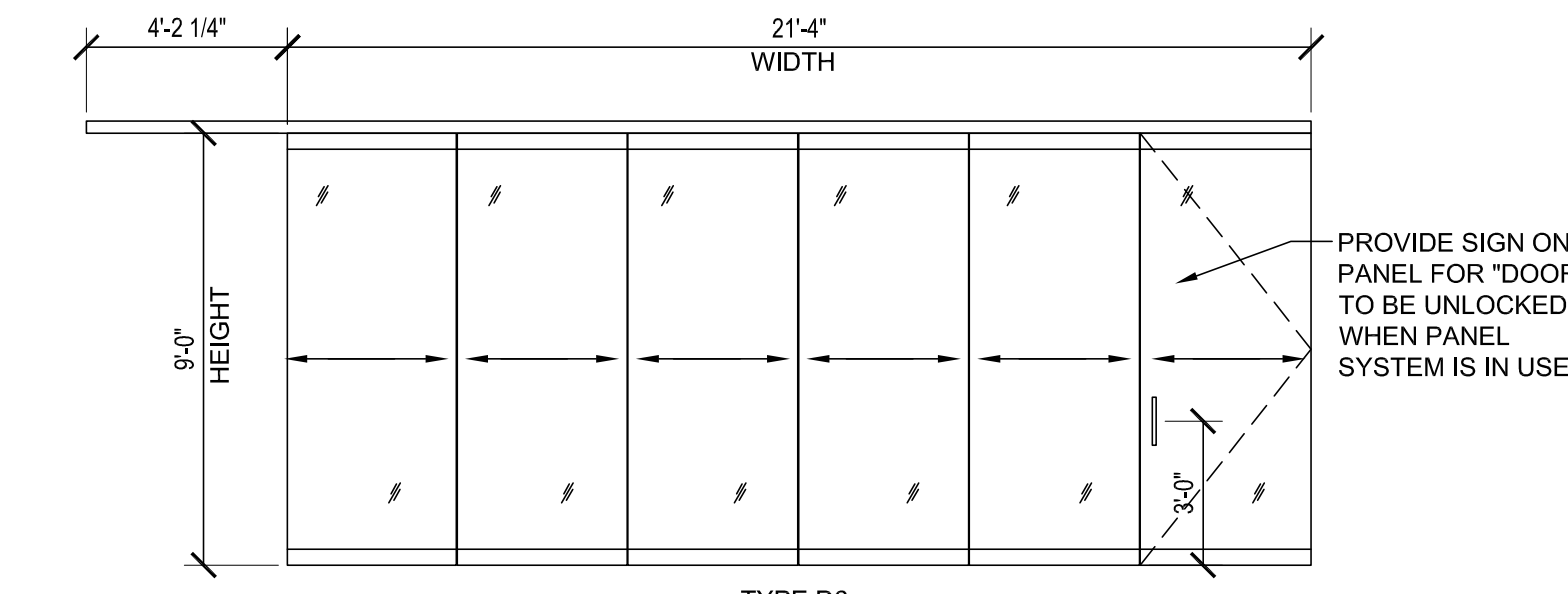
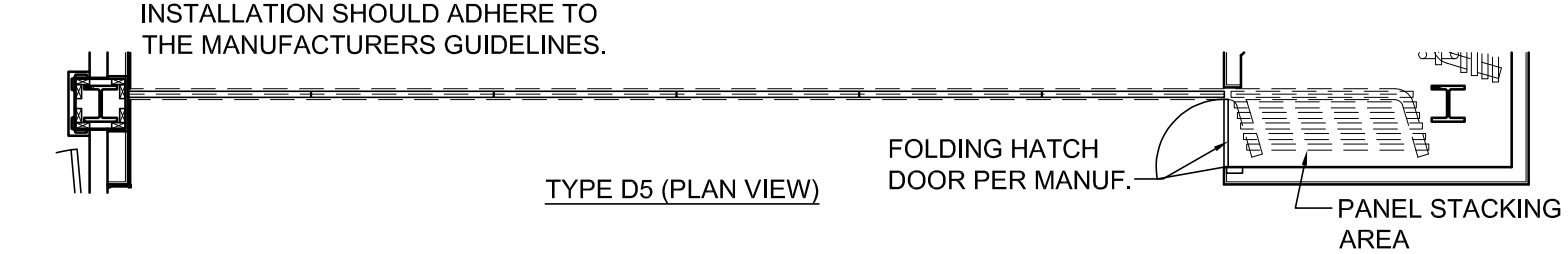
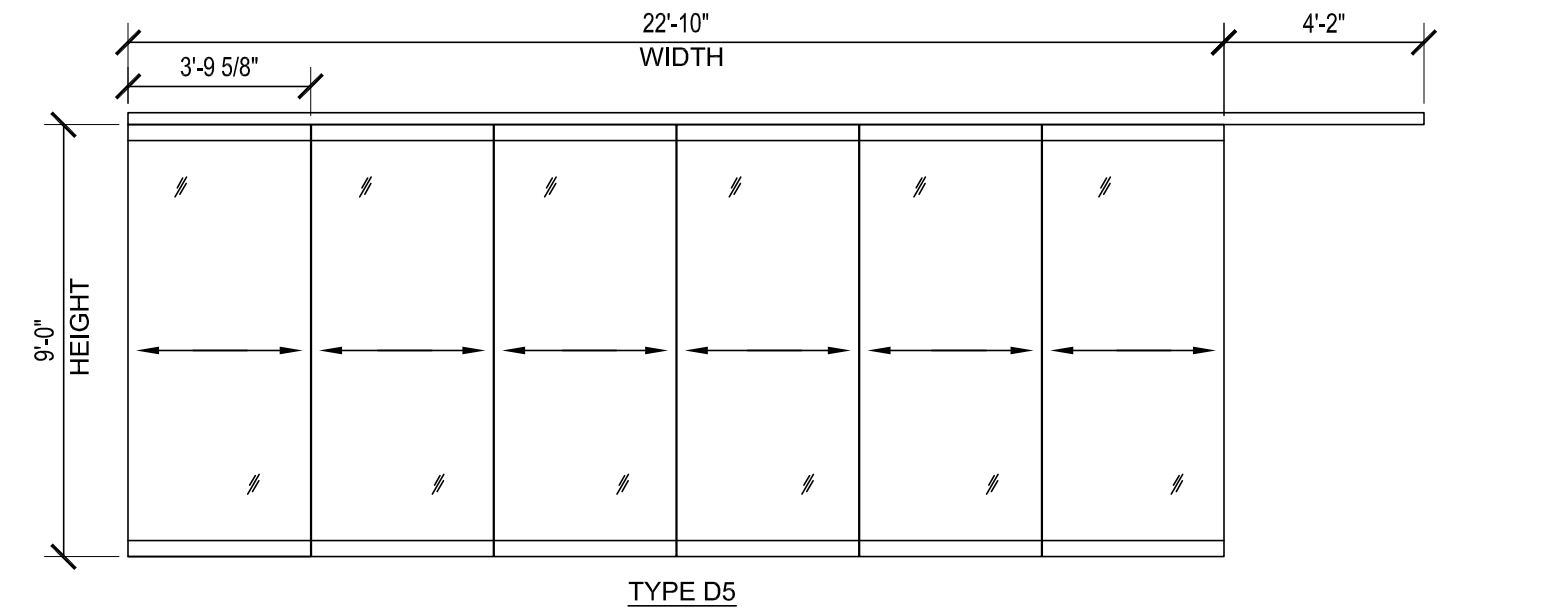
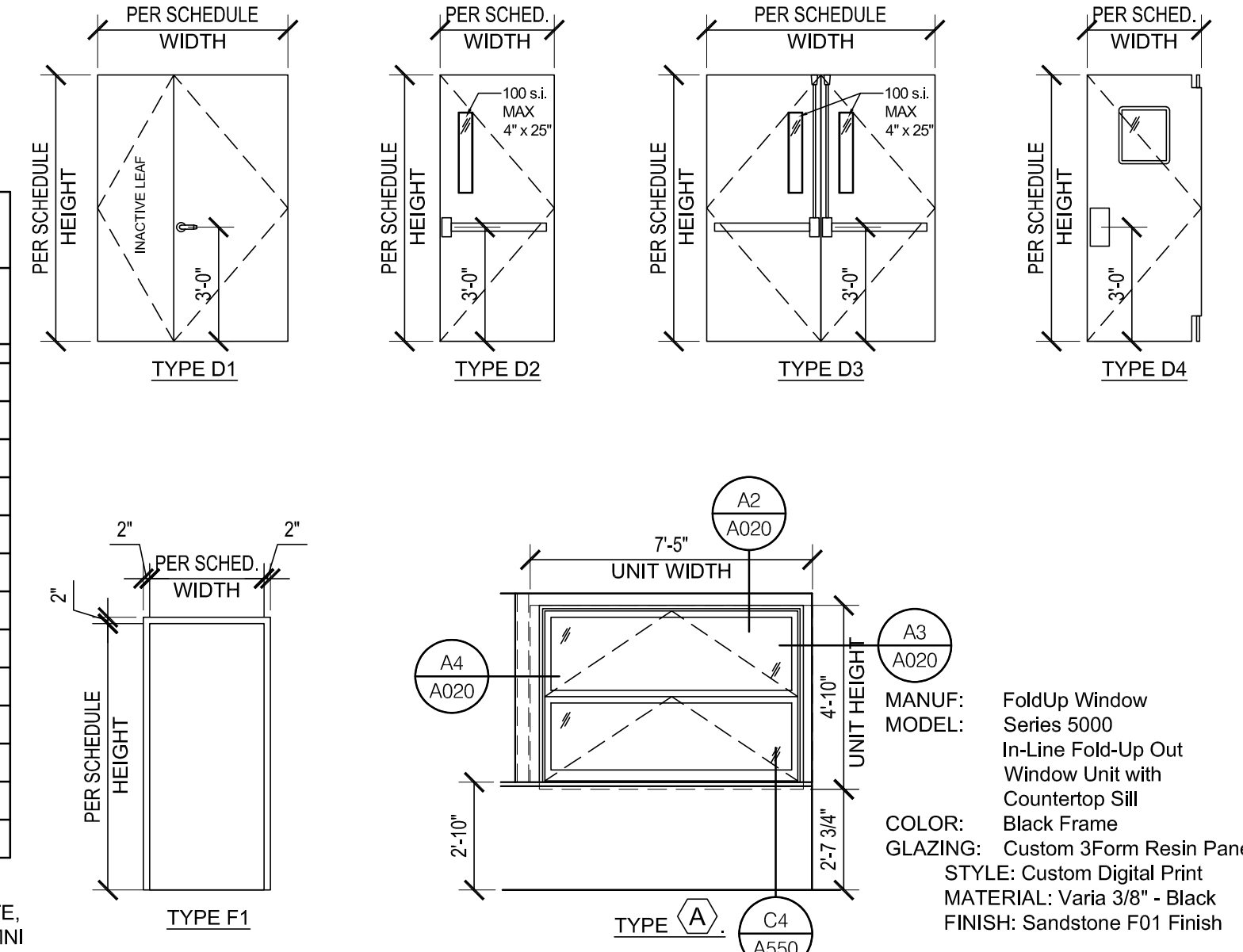
partition identification plan symbol	D1-H	D2-H
basic partition thickness	4-1/4"	6-5/8"
stud size	3-5/8"	6"
metal thickness (gauge)	20 ga	20 ga
insulation thickness		
gwb thickness	5/8"	5/8"
acoustical caulking		
fire caulking		
stud spacing (o.c.)	16"	16"
studs to ceiling		
studs to structure above		
studs to structure above w/ base gwb to struct. above		
studs to structure above w/ gwb to 6" above ceiling	YES	YES
remarks:		

WINDOW COVERING SCHEDULE				
MARK	ROOM NUMBER	WIDTH	HEIGHT	NOTES
A	205	9'-0"	7'-0"	(1) WALL MNTD SWITCH FOR RM 205
B	205	8'-0"	7'-0"	(1) WALL MNTD SWITCH FOR RM 205
C	205	7'-8"	7'-0"	(1) WALL MNTD SWITCH FOR RM 205
D	204	8'-0"	4'-4"	(1) WALL MNTD SWITCH PER BOOTH IN RM 204
E	204	7'-8"	4'-4"	(1) WALL MNTD SWITCH PER BOOTH IN RM 204
F	203	7'-10"	7'-0"	(1) WALL MNTD SWITCH IN RM 203
G.1	203	5'-7"	9'-0"	(1) WALL MNTD SWITCH IN RM 203
G.2	203	1'-9"	7'-0"	(1) WALL MNTD SWITCH IN RM 203
H	203	8'-0"	9'-0"	(1) WALL MNTD SWITCH IN RM 203
J	203	7'-0"	9'-0"	(1) WALL MNTD SWITCH IN RM 203
K	202	7'-5"	2'-0"	(1) WALL MNTD SWITCH IN RM 202
L	202	12'-0"	2'-0"	(1) WALL MNTD SWITCH IN RM 202
M	202	7'-0"	2'-0"	(1) WALL MNTD SWITCH IN RM 202

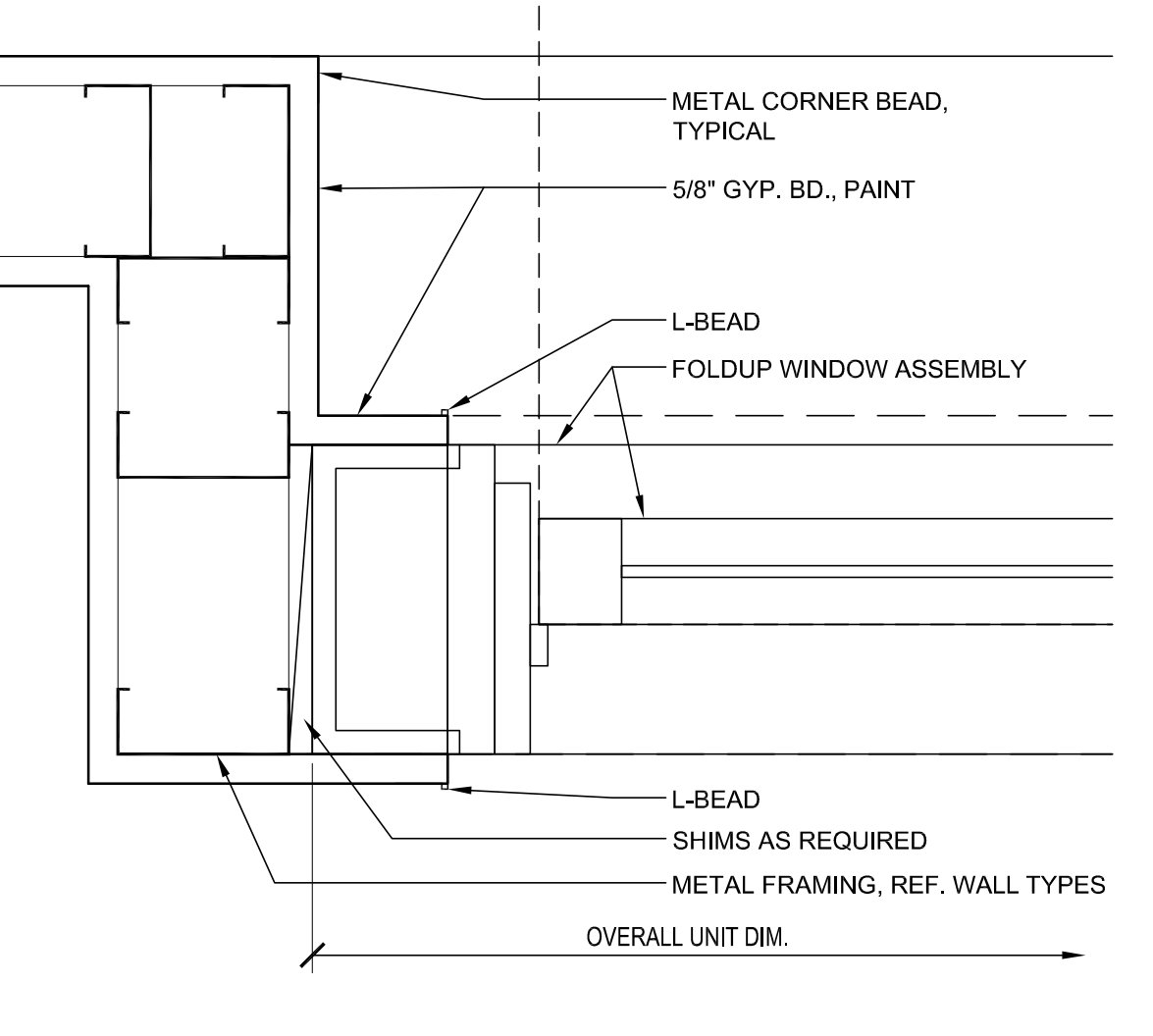
NOTE TO WINDOW COVERING SCHEDULE:
1. BASIS OF DESIGN: "ALTA" ROLLER SHADE W/ BLISS AUTOMATION. SQUARE CASSETTE. BLACK. R80-1% E-SCREEN 09 CHARCOAL/ CHARCOAL FABRIC. 2.0 NM DC MOTOR. OMNI CURVE FABRIC WRAPPED BOTTOM RAIL. BLACK. 15V DC DISTRIBUTION PANEL POWER SUPPLY. PROVIDE COLOR SAMPLES FOR APPROVAL.
2. FIELD VERIFY ALL MEASUREMENTS.

DOOR SCHEDULE														
MARK	FROM ROOM: NUMBER	TO ROOM: NUMBER	WIDTH	HEIGHT	THICKNESS	DOOR TYPE	DOOR MATERIAL	DOOR FINISH	FRAME MATERIAL	FRAME FINISH	FRAME TYPE	HARDWARE SET	FIRE RATING	COMMENTS
201/01	200	201	5'-0"	7'-0"	1 3/4"	D1	SC - WOOD	PAINT - PT-2	H.M. - 16 ga.	F.F. - PT-2	F1	1.0	45 MIN	PAIR OF DOORS, 36" & 24"
202/01	202	200	3'-0"	7'-0"	1 3/4"	D2	SC - WOOD	PAINT - PT-2	H.M. - 16 ga.	F.F. - PT-2	F1	2.0	45 MIN	
202/02	202	209	22'-10"	9'-0"	1 1/4"	D5	TEMP. GLASS	CLEAR	ALUM.	ANODIZED BLACK	MANUF.	3.0	-	NANA WALL SYSTEM - HSW75-C
202/03	202	203	21'-4"	9'-0"	1 1/4"	D6	TEMP. GLASS	CLEAR	ALUM.	ANODIZED BLACK	MANUF.	3.0	-	NANA WALL SYSTEM - HSW75-C
207/01	207	208	3'-0"	7'-0"	-	D4	PVC / ABS	FF - BLACK	H.M.	F.F.	-	4.0	-	SEE NOTE 1
208/01	208	209	3'-0"	7'-0"	-	D4	PVC / ABS	FF - BLACK	H.M.	F.F.	-	4.0	-	SEE NOTE 1
209/01	209	200	6'-0"	7'-0"	1 3/4"	D3	SC - WOOD	PAINT - PT-2	H.M. - 16 ga.	F.F. - PT-2	F1	5.0	45 MIN	PAIR OF DOORS, 36" & 36"
209/02	209	-	3'-0"	7'-0"	1 3/4"	D2	SC - WOOD	PAINT - PT-2	H.M. - 16 ga.	F.F. - PT-2	F1	6.0	45 MIN	
209/03	209	210	EX - 6'-0"	EX - 7'-0"	EX - 1 3/4"	-	EX	PAINT - PT-2	EX	EX - PT-2	EX	7.0	EXIST	EX. PAIR OF DOORS, 36" & 36", SEE NOTE 2

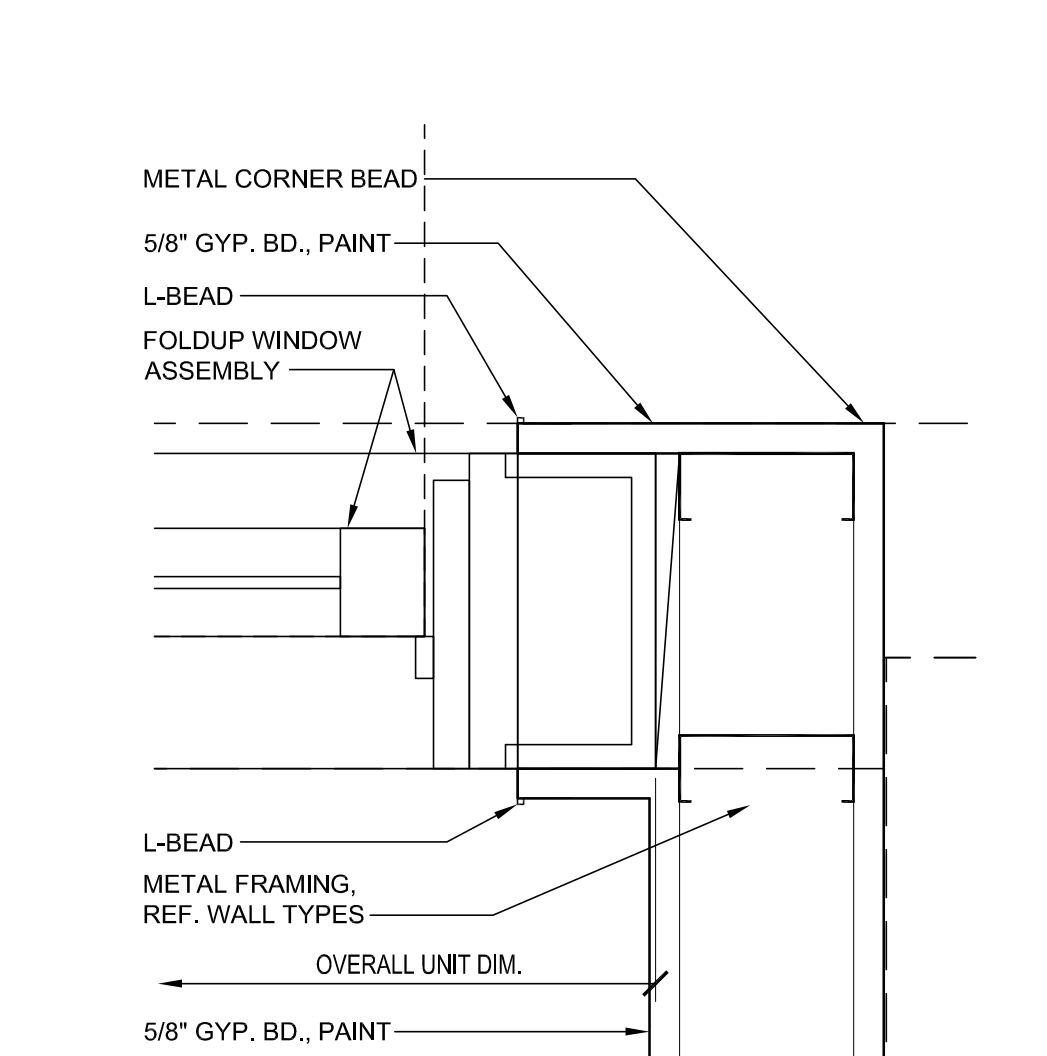
NOTE TO DOOR SCHEDULE:
1. BASIS OF DESIGN: "CHASE DOORS" PROLINE 3001 WITH WINDOW. PROVIDE COLOR SAMPLES FOR APPROVAL.
2. EXISTING DOOR, SAND AND PREP FOR NEW PAINT. REMOVE HARDWARE AS NEEDED TO REFINISH DOOR PANEL. SAND / PREP. FRAME TRIM FOR PAINT.



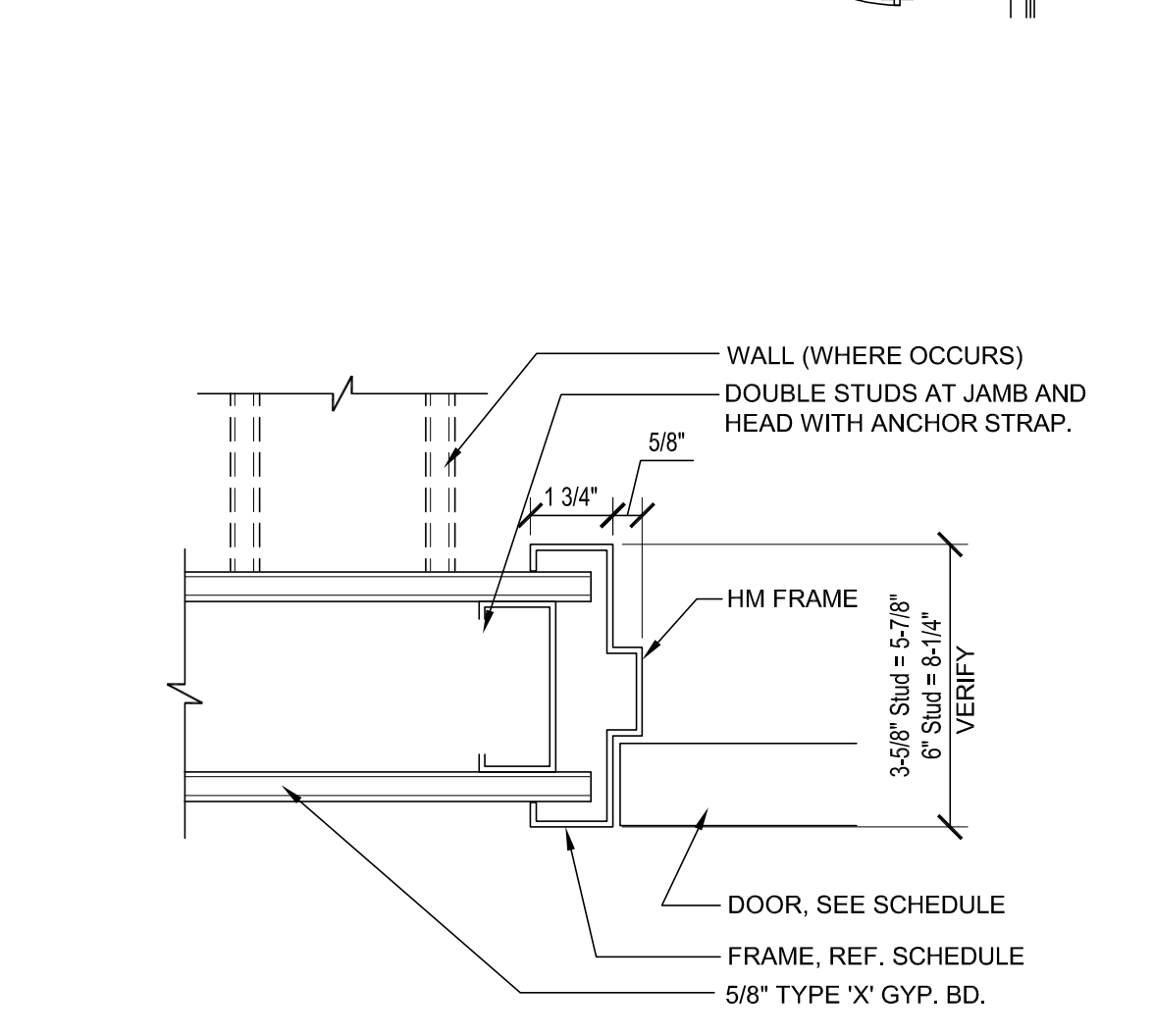
A2 WINDOW HEAD DETAIL
SCALE: 3"=1'-0"



A3 WINDOW JAMB DETAIL
SCALE: 3"=1'-0"



A4 WINDOW JAMB DETAIL
SCALE: 3"=1'-0"



A5 DOOR JAMB DETAIL
SCALE: 3"=1'-0"

WALL, DOOR & WINDOW SCHEDULES

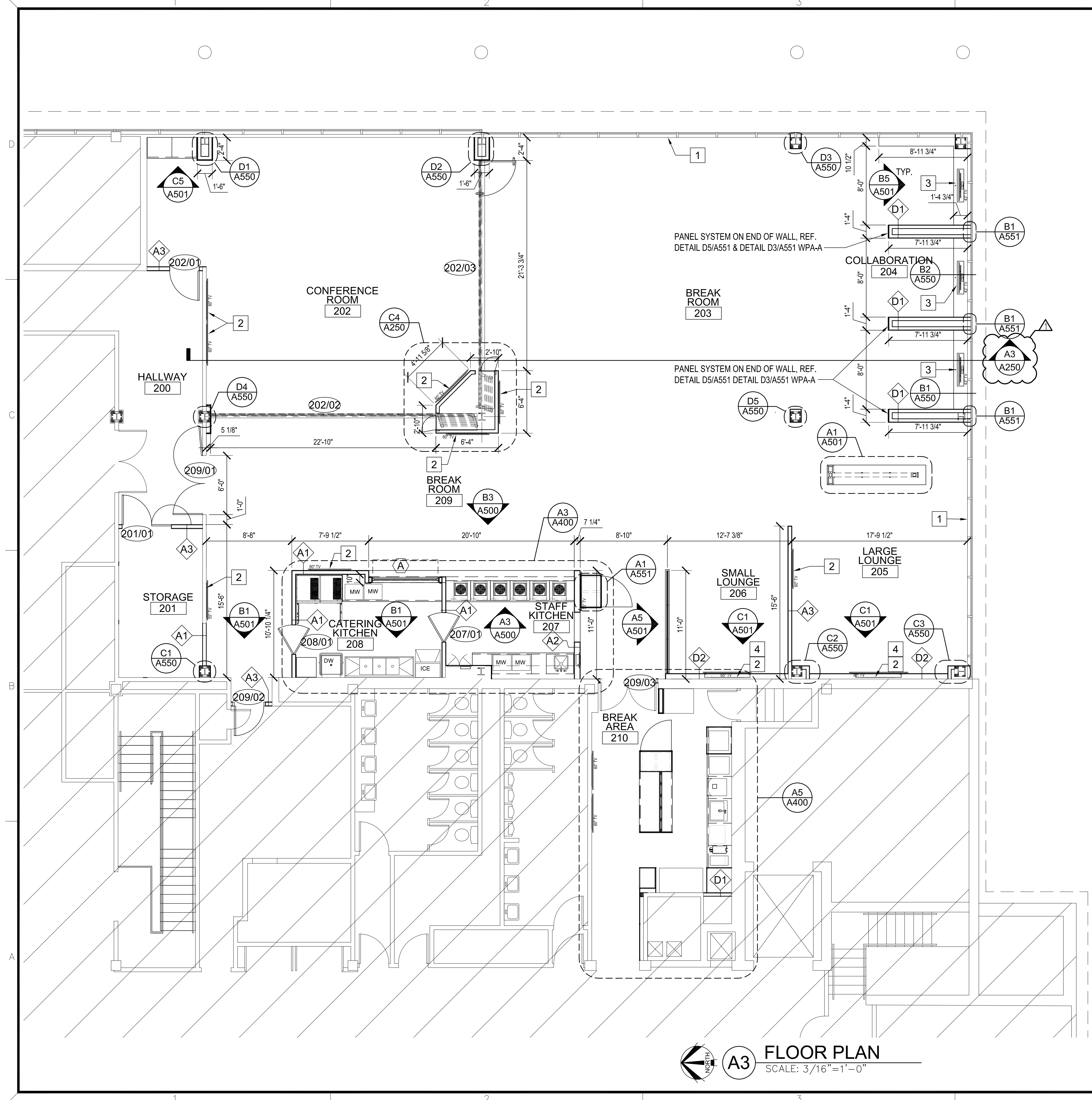
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Rev No. 1	ADDEM #1 04.08.24
Rev No. 2	
Rev No. 3	
Rev No. 4	
Rev No. 5	
Rev No. 6	
Project Number:	23.20
DWG File	A020.dwg
Designed By:	plan4
Drawn By:	GSC
Approved By:	plan4
Date:	03.25.24



SHEET NUMBER
A020
11 x 17 = 1/2 scale



- PLAN KEY NOTES:
- 1 EXISTING EXTERIOR CURTAIN WALL ASSEMBLY
 - 2 WALL MOUNTED TV. PROVIDE BLOCKING IN WALL AS REQUIRED. PROVIDE 2" CONDUIT DOWN WALL TO RECESSED BOX WITH POWER AND VIDEO HOOK UP. COORDINATE REQMNT WITH OWNER'S I.T. REP.
 - 3 TV: LG UHD UQ75 SERIES 43" SMART TV WITH POP-UP LIFT, BASIS OF DESIGN - "NEXUS 21" MODEL L-27 (FOR UP TO 48" TV), PROVIDE DPH BUTTON.
 - 4 ELECTRIC FIRE PLACE, BASIS OF DESIGN - "NAPOLEON ALLURAVISION SLIMLINE. 60" - ROOM 205 AND 42" - ROOM 206.

FLOOR PLAN

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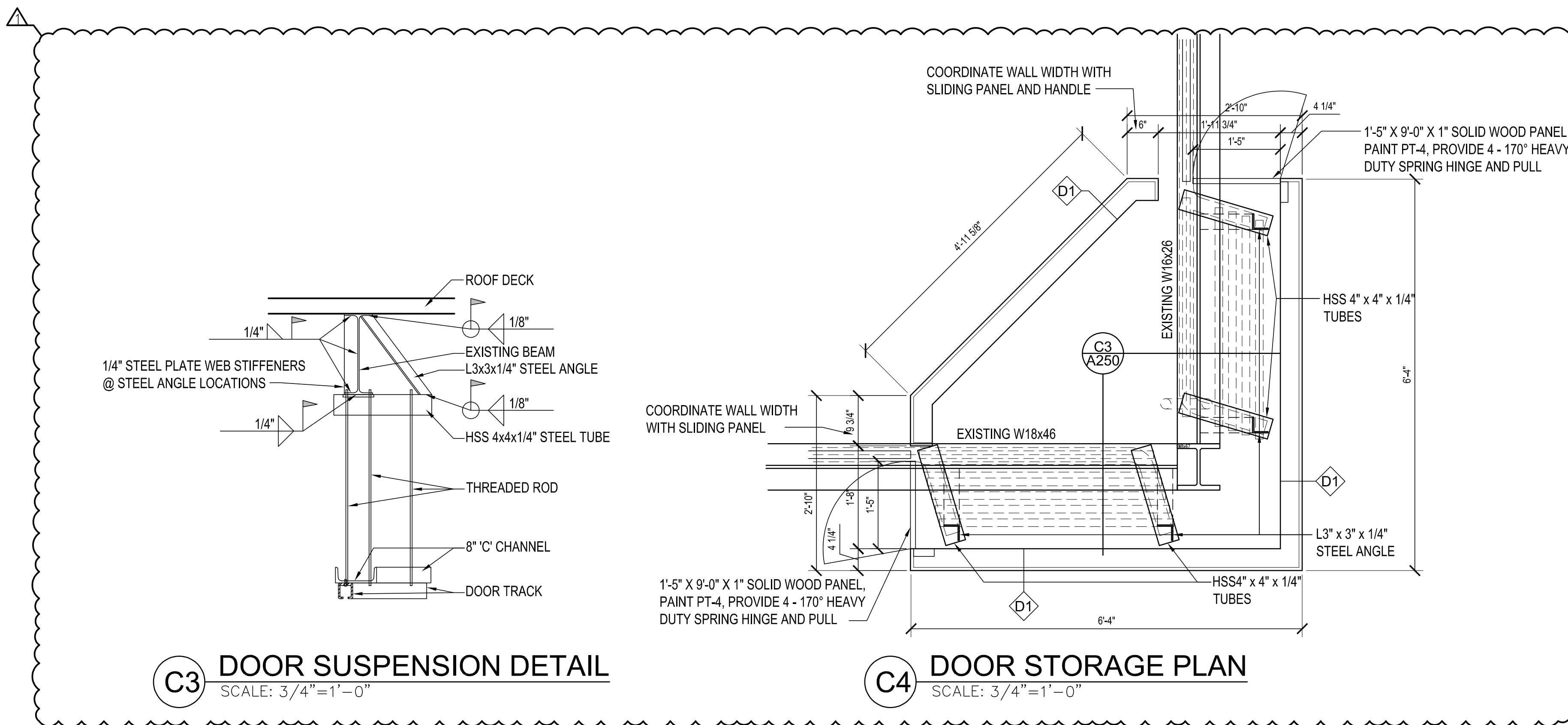


A3 FLOOR PLAN
SCALE: 3/16"=1'-0"

11 x 17 = 1/2 scale

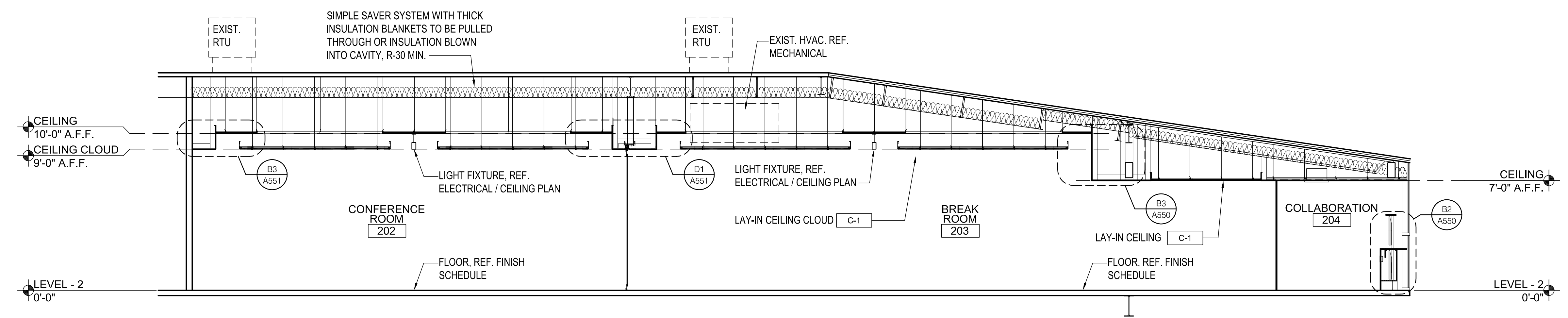
SHEET NUMBER
A102

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C3 DOOR SUSPENSION DETAIL
SCALE: 3/4"=1'-0"

C4 DOOR STORAGE PLAN
SCALE: 3/4"=1'-0"



A3 BUILDING SECTION
SCALE: 1/4"=1'-0"

BUILDING SECTION

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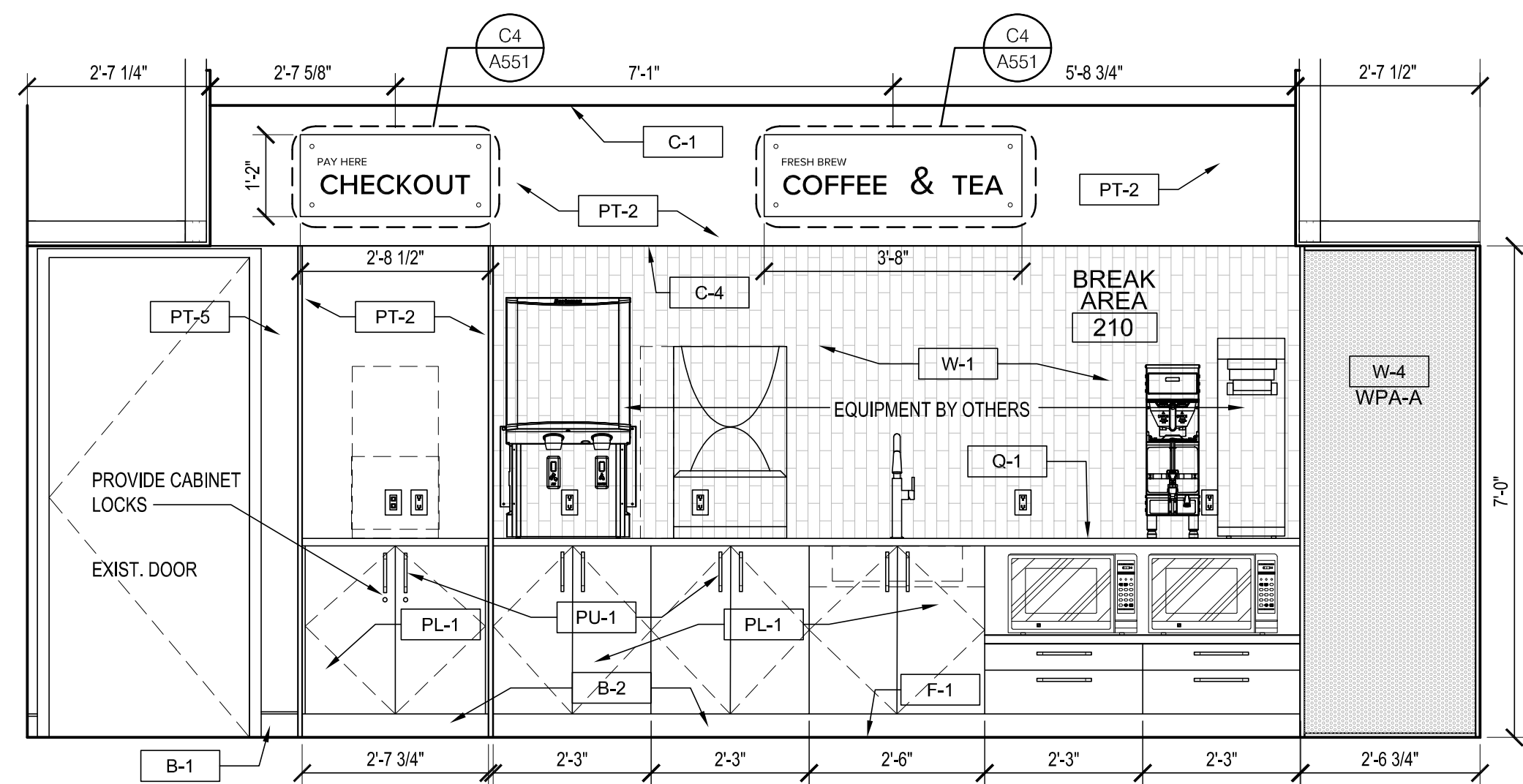
SHEET NUMBER

A250

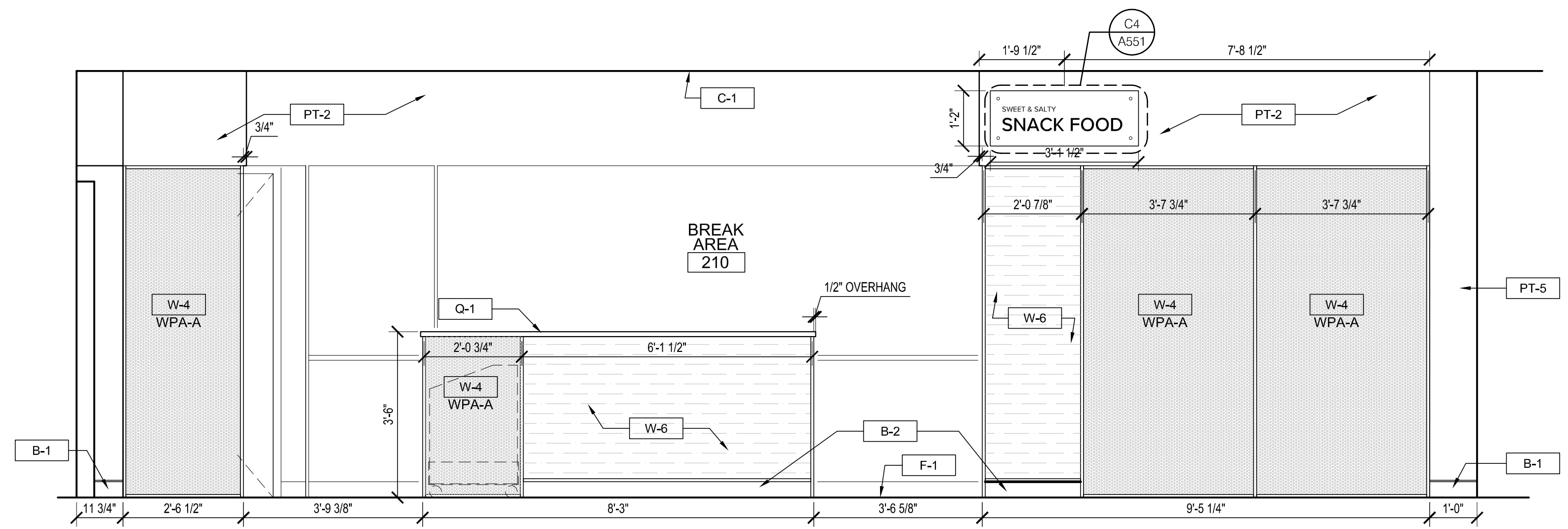
11 x 17 = 1/2 scale

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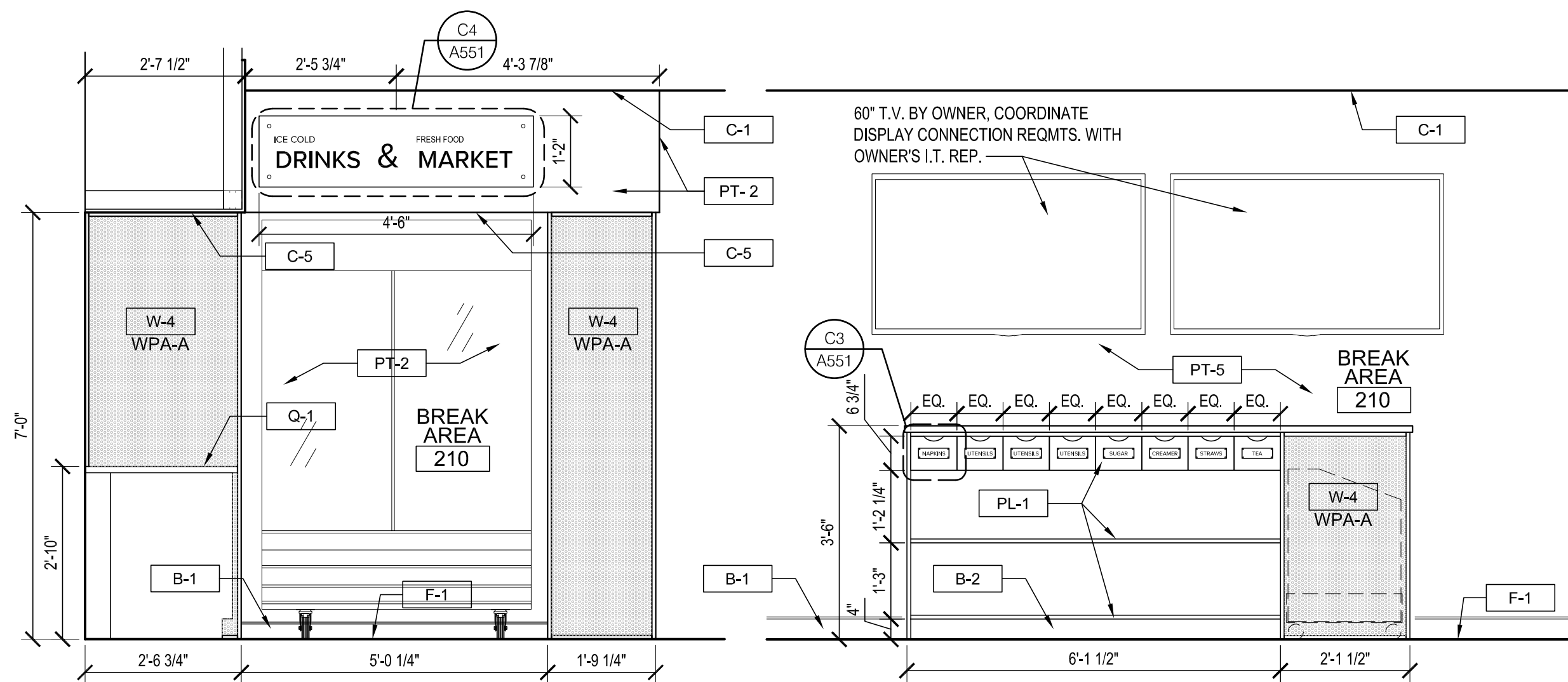
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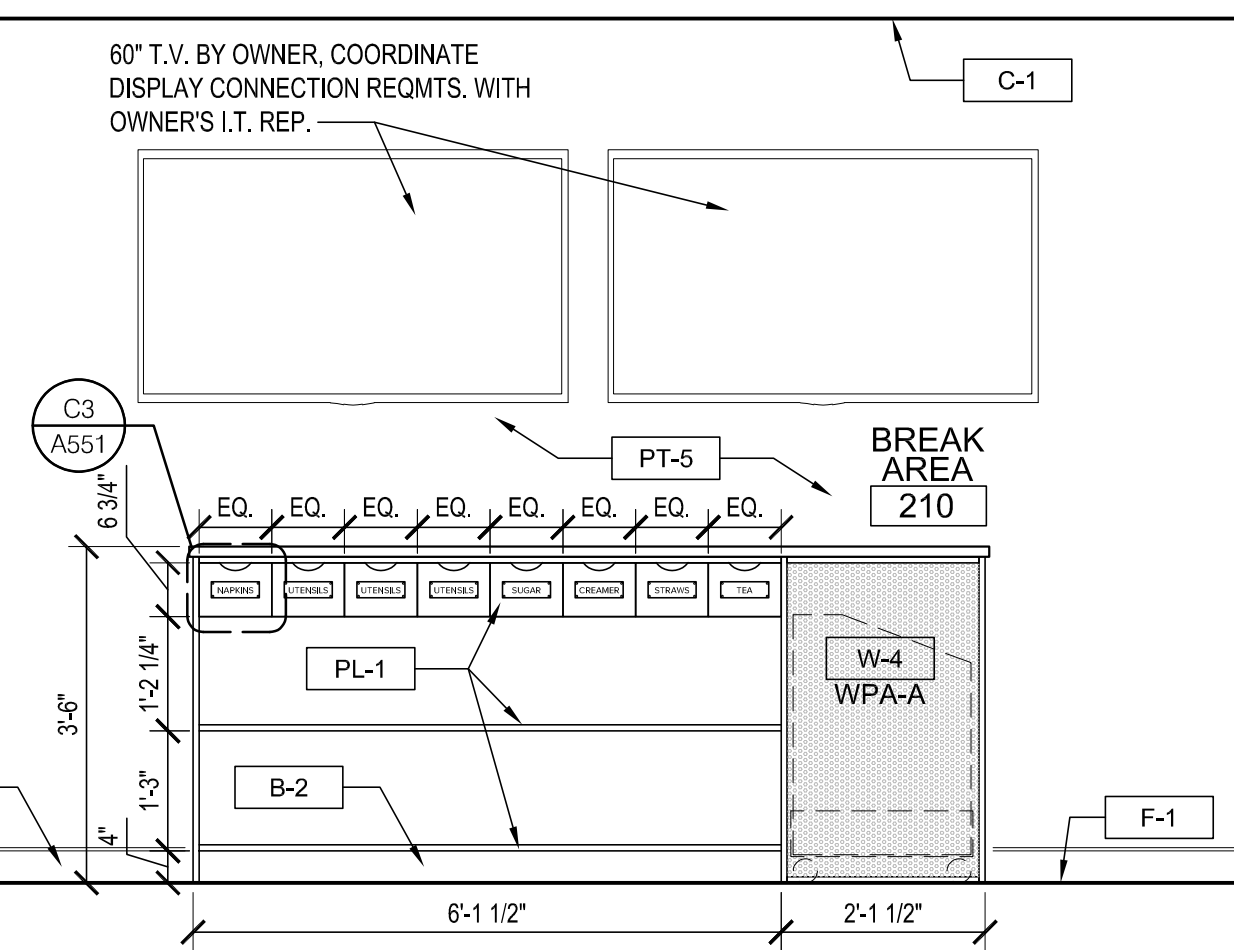
C1 SOUTH BREAK AREA ELEVATION
SCALE: 1/2"=1'-0"



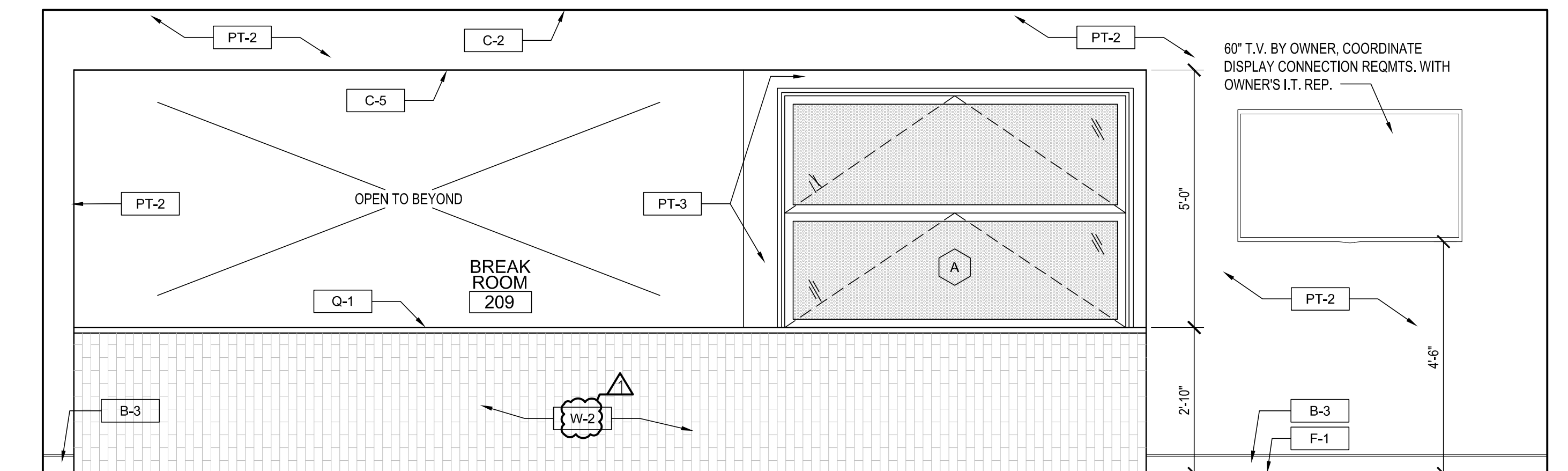
C3 NORTH BREAK AREA ISLAND ELEVATION
SCALE: 1/2"=1'-0"



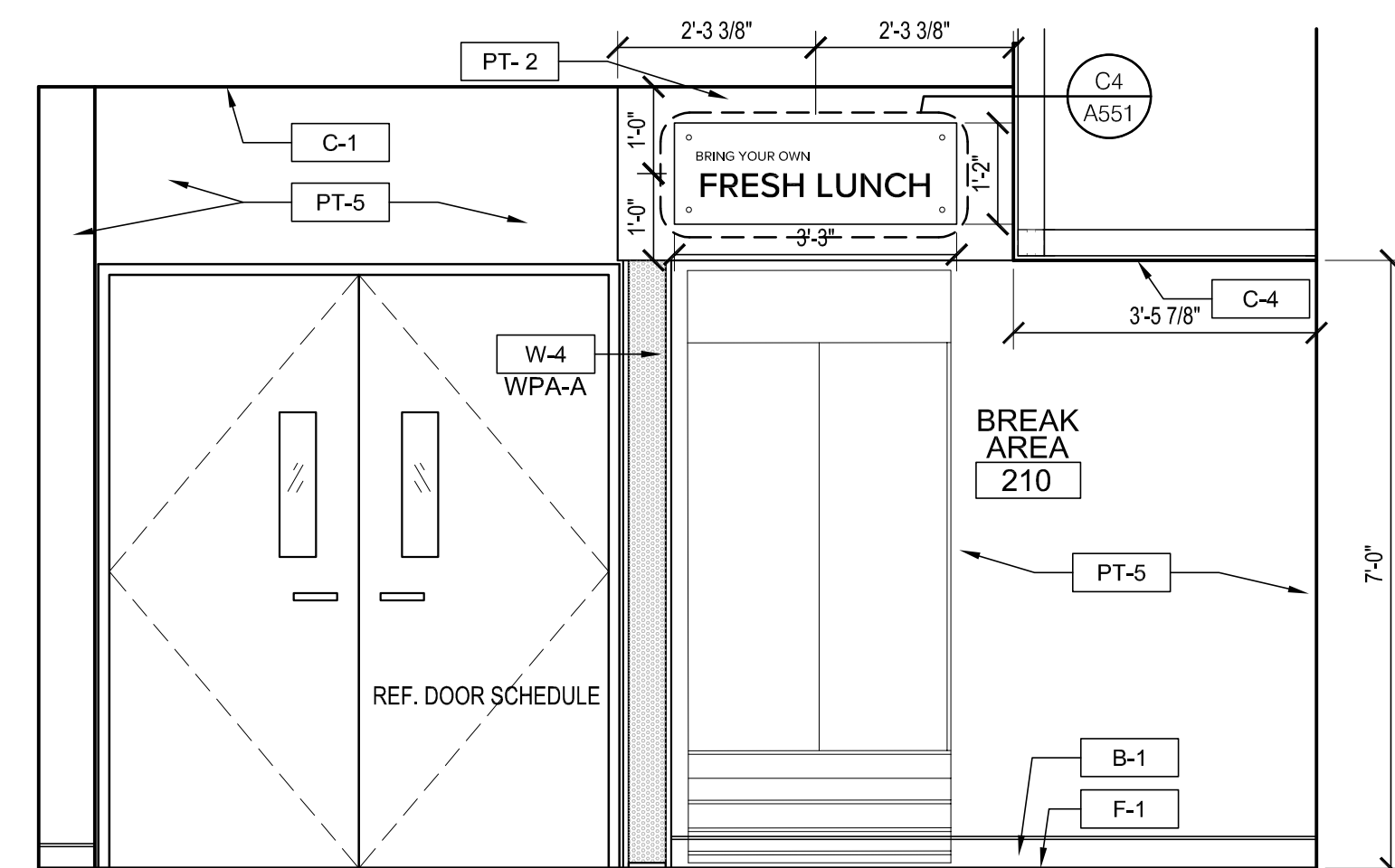
B1 WEST BREAK AREA ELEV.
SCALE: 1/2"=1'-0"



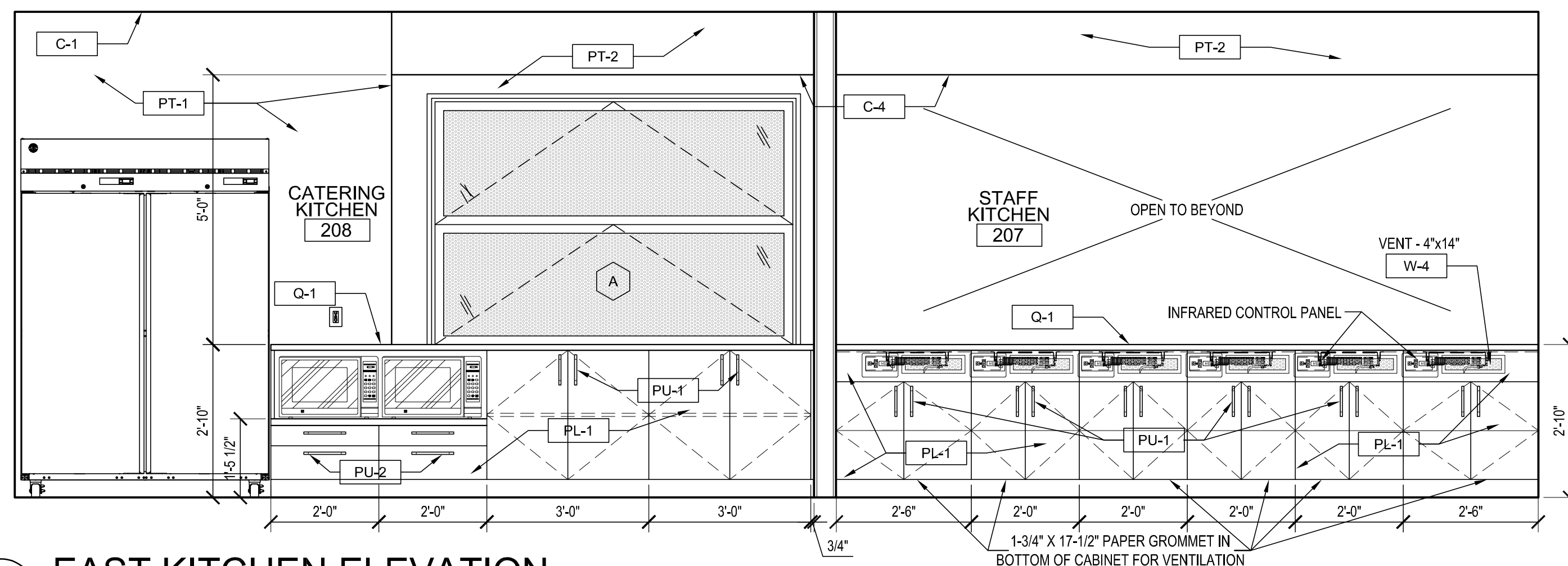
B2 SOUTH BREAK AREA ISLAND ELEV.
SCALE: 1/2"=1'-0"



B3 WEST BREAK ROOM ELEVATION
SCALE: 1/2"=1'-0"



A1 EAST BREAK AREA ELEVATION
SCALE: 1/2"=1'-0"



A3 EAST KITCHEN ELEVATION
SCALE: 1/2"=1'-0"

INTERIOR ELEVATIONS

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SHEET NUMBER

A500

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